



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, June 8, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at www.stpete.org/meetings.

According to Planning and Development Services Department records, Commissioner Jeff Wolf resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



Case No.:	COA 21-90200045; AVT 21-90400004
Request:	Review of a Certificate of Appropriateness for the window replacement and rehabilitation at 217 10 th Ave NE, a contributing property to a local historic district
Legal Description:	BAYVIEW ADD BLK 8, E 20FT OF LOT 8 & W 55FT OF LOT 9
Parcel ID No.:	18-31-17-05274-008-0090
Date of Construction:	1920
Local Landmark:	North Shore Section – 200 Block of 10 th Avenue Northeast Local Historic District (17-90300004)
Owners:	Michael Hussey Mary Ellen Hussey
Applicant:	Andrej Klobucar, Contractor, Konstrukt Builders, Inc.

Figure **Error! Main Document Only.**:

Historical Context and Significance

The Craftsman style house at 217 10th Ave. NE was constructed in 1920. It appears that the existing garage apartment was constructed at that time as a single-story garage, as it appears in the 1923 Sanborn map shown in Figure 1. The second story was added as servants' quarters in 1936 according to permit records.

The subject property has been designated a contributing property to both the 200 Block of 10th Avenue Northeast Historic District (17-90300004) and North Shore National Register Historic District. Because of its location within the 200 Block of 10th Avenue Northeast Historic District, a Certificate of Appropriateness (COA) is required for exterior alteration. Per the City's COA Matrix, changes in materials of elements such as windows requires a public hearing before the Community Planning and Preservation Commission (CPPC). The Ad Valorem Tax (AVT) Exemption for Rehabilitation application Part 1, for which this property qualifies because of its contributing status to a historic district listed in the Local or National Register of Historic Places, is processed using parallel criteria to the COA

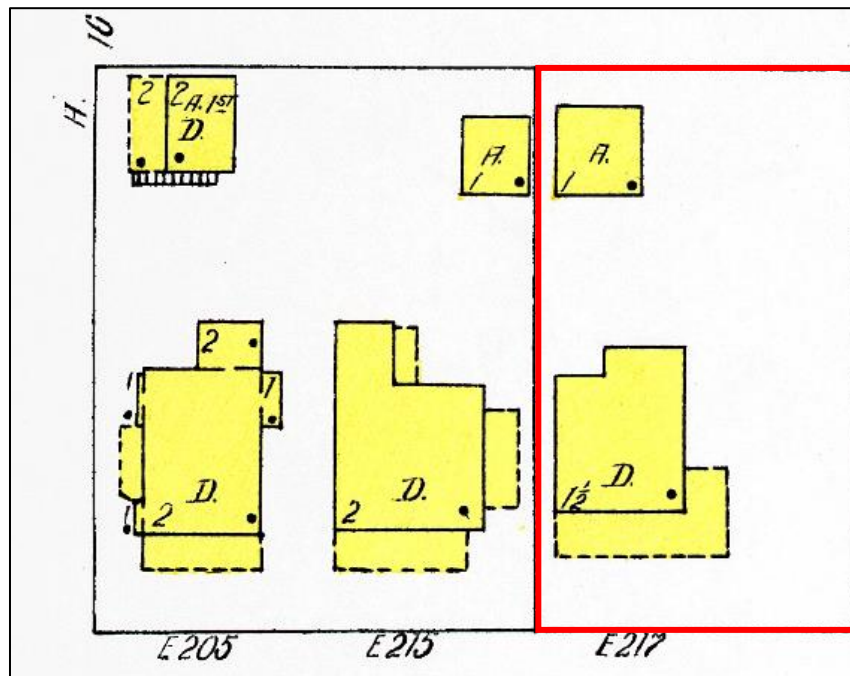


Figure 1: 1923 Sanborn map of subject property.

Project Description and Review

Project Description

This COA and AVT applications (Appendices A and B) propose alteration to the subject property by:

Exterior (subject to COA and AVT review):

- Constructing a new inground swimming pool,
- Removing non-historic windows to open the primary residence's original porch,
- Replacing historic wood windows with impact windows replicating originals' size and configuration,
- Infilling several window openings at the rear of the primary residence's first floor,
- Installing a vinyl fence at side and rear yard,

Figure Error! Main Document Only.:

- Relocating mechanical equipment to rear side of west elevation of primary residence.

Interior (subject to AVT review only):

- Mechanical work to include electrical, plumbing and HVAC upgrades,
- Interior rehabilitation (qualifying costs include walls, ceiling, and permanent floor coverings but not fixtures such as cabinetry).

The owners have recently purchased and plan to rehabilitate the entire property, including the garage apartment. Plans as originally submitted included replacement of the stairs to the detached garage apartment's second floor living space and replacement of its windows and doors. Following the submission of the application, a fire occurred at the detached garage, causing a degree of damage not fully known as of the writing of this report. As such, this item will consider work to the primary residence and landscape only; the rehabilitation – or possible demolition and new construction – of the garage apartment will be considered at a later time through a separate COA and revision to the AVT application once the scope of work is determined.

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Generally consistent

The proposed project will certainly have a positive impact on the district as a whole by re-opening the historic front porch, which is a very significant and character-defining element of the subject property as a contributing property to the local historic district.

The replacement of the existing wood windows will remove a historic material and introduce vinyl impact windows, which will diminish the subject property's material integrity. However, the applicant has stated that the historic windows are irreparable. The replacements will replicate historic size and configuration and therefore generally retain integrity of design.



Figure 2: Enclosed front porch at subject property. Facing northwest.

Figure Error! Main Document Only.:

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent

As stated above, the restoration of the subject property's large front porch will have a positive impact on the subject district's streetscape.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Partially consistent

The new material of the windows will affect the property's integrity. Other aspects of the proposal satisfy this criterion.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

Information not provided

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent

There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Not applicable

The subject property is listed as a contributing property.

Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Consistent

The subject property is, and will continue to be, a single-family residence.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

Consistent

As noted above, the reopened front porch will restore a degree of now-concealed historic character of the subject property. The window replacement will change materials and visual texture but replicate the historic configuration and therefore maintain historic design.

Figure Error! Main Document Only.:

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

Consistent

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

Consistent

The existing porch enclosure is not listed in City permit records but appears to date to the 1970s-1990s by the method of construction. No alterations which have gained historic significance will be affected by the proposed project.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Inconsistent

The proposal includes the introduction of several materials that would not historically have been available, including vinyl impact windows and vinyl fencing. However, particularly with the inclusion of the staff-recommended Conditions of Approval, the proposal does satisfy St. Petersburg's Design Guidelines.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Partially consistent

The proposal does include replacing historic windows of the main house. The applicant has stated that they are highly deteriorated and staff has observed areas of rot and termite damage on site visits.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Consistent

No harsh treatments have been proposed or observed.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

Not applicable

The subject property is not located within a known archaeological sensitivity area.

Additional Guidelines for Window Replacement

The City's historic preservation office, State of Florida Division of Historic Resources, and U.S. Department of Interior Technical Preservation Services can provide additional information relating to window repair

Figure Error! Main Document Only.:

and replacement for individual landmark buildings and properties within local historic districts. While preservation and repair of historic windows is often preferable, property owners may replace windows provided that each replacement window meets the following criteria:

1. *Impact resistance. The replacement window and glass shall be impact resistant;*

Consistent

2. *Energy performance. The replacement window shall be Energy Star qualified for southern climate zones;*

Consistent

3. *Depth in wall. The replacement window shall be setback into the wall the same distance as the historic window;*

Recommended condition of approval

4. *Frame size, shape and exterior trim. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable;*

Recommended condition of approval

5. *Configuration. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;*

Consistent

6. *Proportions. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:*
 - a. *Muntins and mullions. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.*
 - b. *Stiles. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.*
 - c. *Top, meeting and bottom rails, and blind stop. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.*

Generally consistent.

7. *Finish. The finished surface and appearance shall match the historic window, where practicable.*

Inconsistent

The vinyl material will be visual distinct from historic wood sashes, although the proposed windows do meet other criteria and are similar to those approved by this board in residential historic districts in recent cases.

Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

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- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria fully or partially satisfied.
- Additional Guidelines for Alterations: 6 of 7 relevant criteria fully or partially satisfied.
- Additional Guidelines for New Construction: 6 or 7 criteria satisfied or generally satisfied by proposed windows installed with Conditions of Approval as recommended by Staff.

Summary of Findings, Ad Valorem Tax Exemption Review

The exterior aspects of the proposed project generally satisfy the COA criteria, which are closely related to the Secretary of the Interior's Standards for Rehabilitation of Historic Properties. Qualifying interior improvements mainly include upgrades to plumbing, electrical, and HVAC systems, which will extend the subject property's useful lifespan without diminishing historic integrity or removing/concealing character defining features.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness (City File 21-90200045) and Ad Valorem Tax Exemption (City File 21-90400004) requests for the rehabilitation of the property at 217 10th Ave NE, a contributing property to the 200 Block of 10th Avenue Northeast Local Historic District, subject to the following:

1. Windows will be installed to be setback within the wall plane and feature a reveal of at approximately two to three inches to provide consistency with the historic windows at subject property.
2. Proposed windows will replicate traditional design and configuration, including four and five-over-one sash windows throughout majority of primary residence as well as seven-over-one irregular sash windows at the façade in the reopened front porch.
3. Historic window trim will be reinstalled or closely replicated.
4. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
5. These approvals will be valid for 24 months from the date of this hearing, June 8, 2023.

Appendix A:

Application No. 21-90200045



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

217 10 Ave NE Property Address	18-31-17-05274-008-0090 Parcel Identification No.
Old North East Historic District / Landmark Name	n/a Corresponding Permit Nos.
Michael Hussey Owner's Name	860-999-4381 Property Owner's Daytime Phone No.
855 Cantral Ave. #310 St. Petersburg, FL. 33701 Owner's Address, City, State, Zip Code	garfieldst47@yahoo.com Owner's Email
Andrej Klobucar, Contractor, Konstrukt Builders, Inc. Authorized Representative (Name & Title), if applicable	727-459-7518 Representative's Daytime Phone No.
855 37 Ave N St. Petersburg, FL. 33704 Representative's Address, City, State, Zip Code	konstruktbuilders@gmail.com Representative's Email

APPLICATION TYPE (Check applicable)		TYPE OF WORK (Check applicable)	
<input type="checkbox"/> Addition	<input type="checkbox"/> Window Replacement	<input type="checkbox"/> Repair Only	
<input type="checkbox"/> New Construction	<input type="checkbox"/> Door Replacement	<input checked="" type="checkbox"/> In-Kind Replacement <small>fence.HVAC</small>	
<input type="checkbox"/> Demolition	<input type="checkbox"/> Roof Replacement	<input checked="" type="checkbox"/> New Installation <small>Pool</small>	
<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Mechanical (e.g. solar)	Other:	
<input type="checkbox"/> Other:			

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner: _____ Date: 4/8/21

Signature of Representative: _____ Date: 4/8/21



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Swimming pool	see sketch	Add new inground swimming pool and equipment
Remove windows	3	Remove non historic windows in enclosed porch. Bring back front wrap around porch to original form.
Hvac equipment	see plans	Relocate and replace 2 new AC condensers to the west side of house
Fence		Install 6' white vinyl 2x2 picket fence, gate and arch near front of house.
Fence		Install 6' solid white vinyl fence and gate at west and alley side to match existing east side fence.
2 Laurel oak tree removal		Remove 1 laurel oak beside garage apt. to close and full of decay. One at NE corner at end of its life.



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

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PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Replace Windows	1	Replace all windows with matching existing style, vinyl, impact rated glass.
Eliminate 3 window openings	2	Remodel laundry room, remove 2 west side windows and 1 north side window. Cover exterior with matching lap siding

Pool

Style _____ Area _____
 Perimeter _____ RTNS _____
 Depth _____ Lights _____
 Drains _____ C _____
 Spa Type _____ Volume _____
 Spillover Length(s) _____
 Coping Material _____
 Interior Finish _____
 Notes _____

Spa

Style _____ Perimeter _____
 Lights _____ Area _____
 Drains _____ RTNS _____
 Spillover Length(s) _____
 Coping Material _____
 Interior Finish _____
 Notes _____

Tile

Raised Beams _____
 Pool Tile Material _____
 Spa Tile Material _____
 Notes _____

Deck

Perimeter _____ Area _____
 Coping Area _____
 Coping Material _____
 Surface Material _____
 Turn Down _____ Riser _____
 NOTES _____

Equipment

Circ Pump _____ Control Panel _____
 Pump #2 _____ Remote _____
 Filter _____ Blower _____
 Heater _____ Fill Line _____
 Control _____ Other _____
 Spa Light _____ Other _____
 NOTES _____

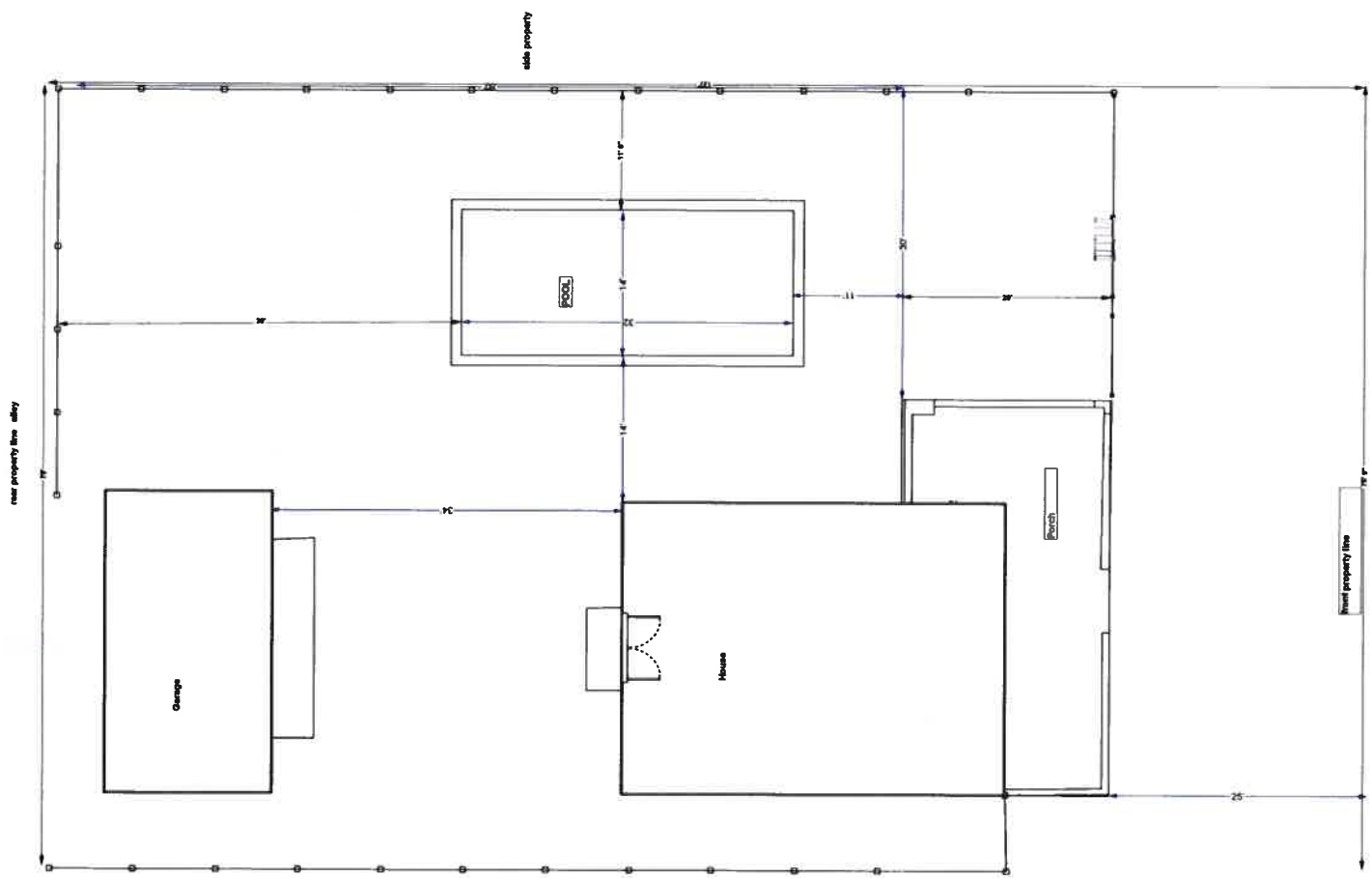
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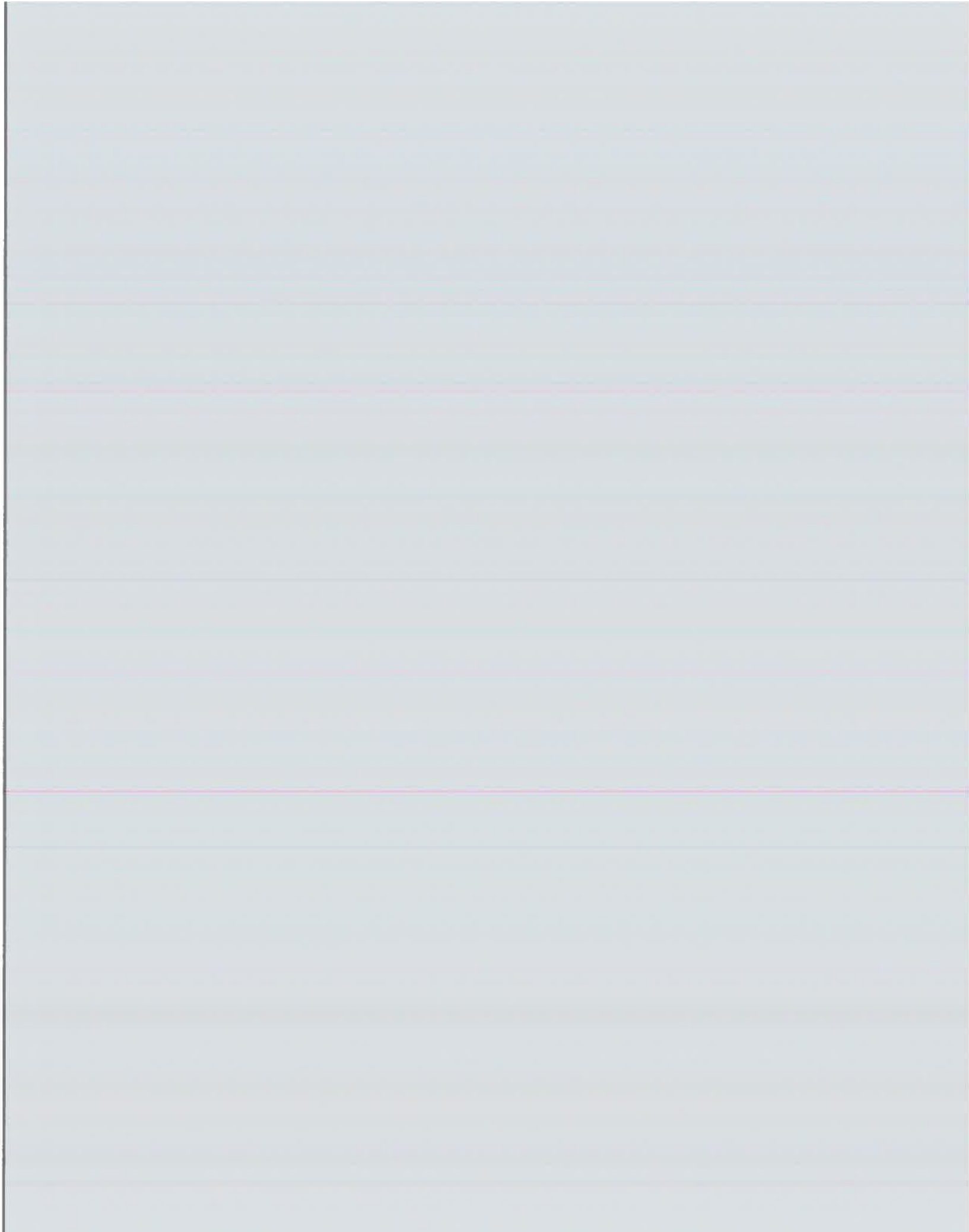
I/we (the undersigned) have reviewed this plan and approve it as correct within reasonable tolerance. I/we understand that any changes made to a single or to

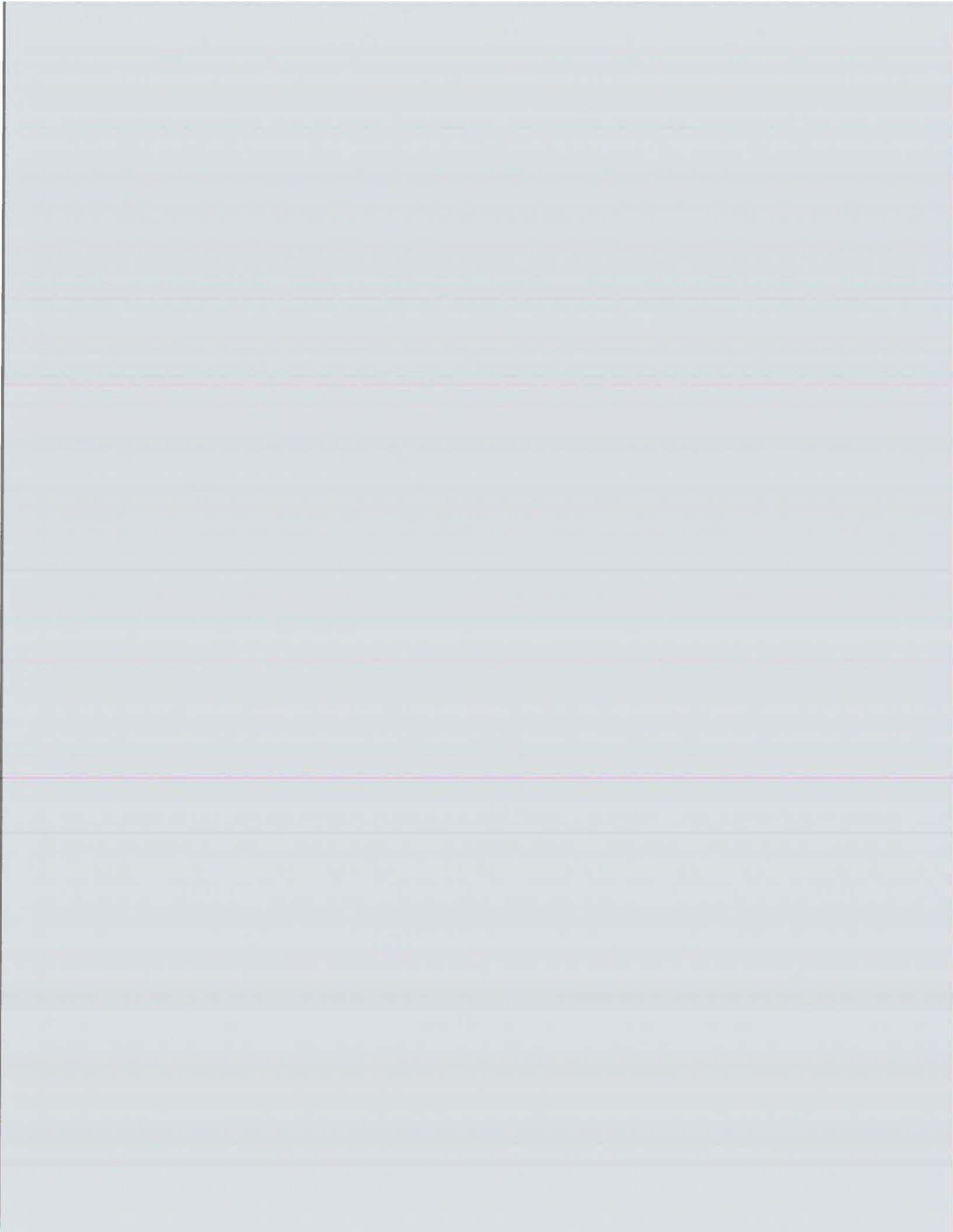
Pool Depth

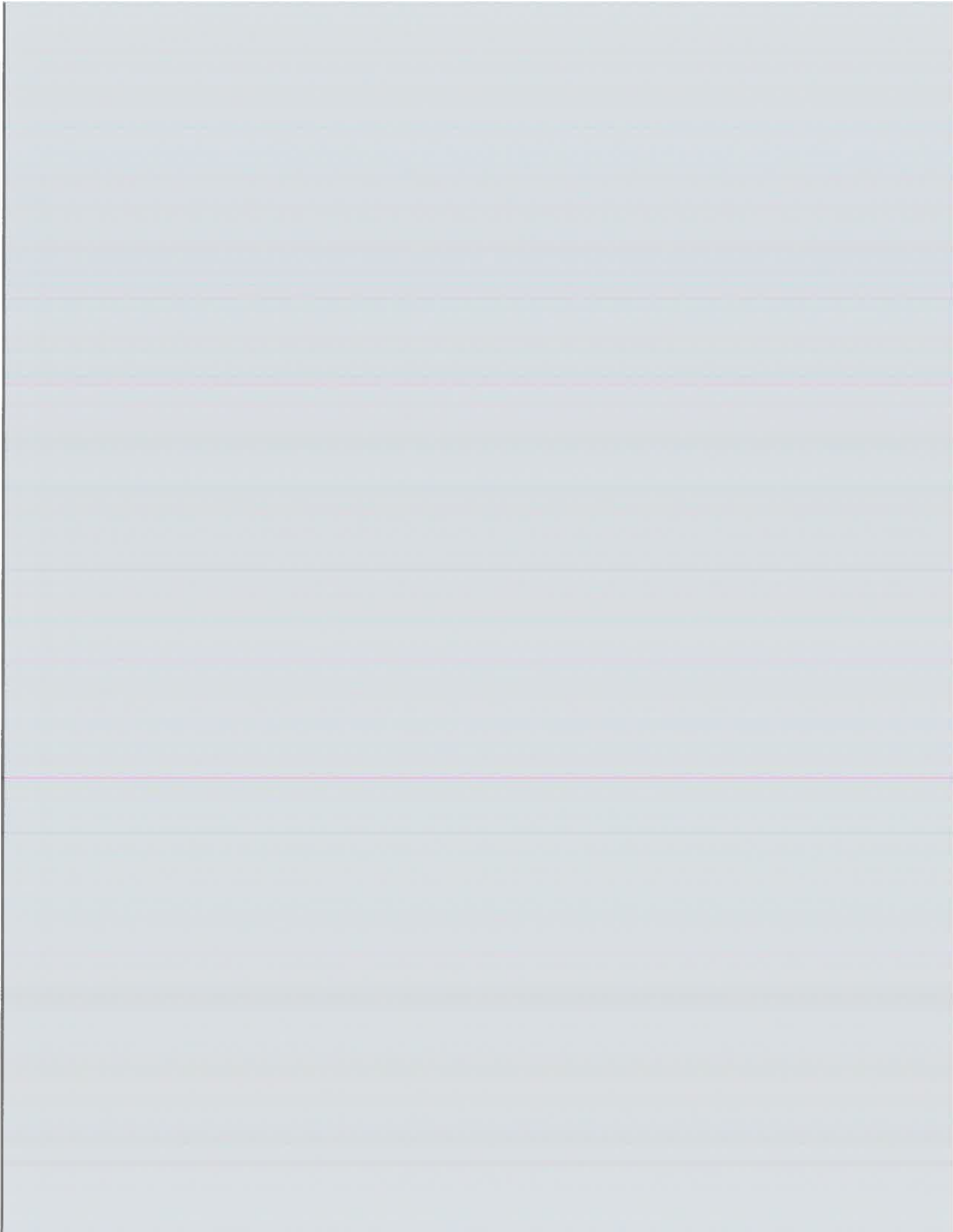


Project Name: Mia and Mary Ellen Hussey
 Client Name _____
 Client Email _____
 Address: 217.10 Ave NE
 City: St Petersburg
 State/Province _____
 Zip/Postal Code _____
 Designer Name _____



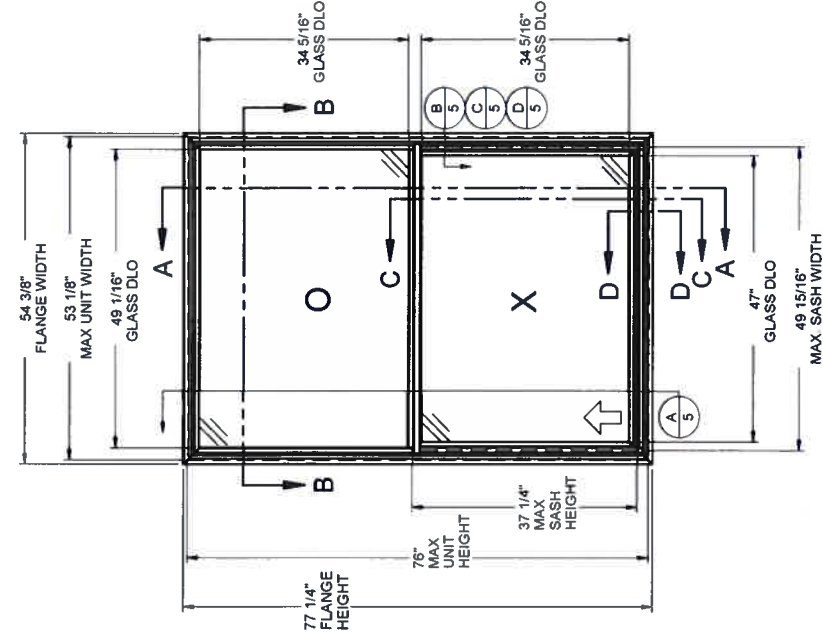
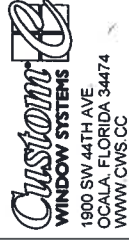






SINGLE HUNG - LARGE MISSILE IMPACT

(SHOWN w/DIFFERENT OPTIONS)



GENERAL NOTES:

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE (FBC), CURRENT EDITION AND IS RATED FOR MISSILE LEVEL D IMPACT USE IN WIND ZONE 3 AREAS AS DEFINED IN ASTM E-1996 PER THE FBC. THIS PRODUCT MAY NOT BE USED IN THE HIGH VELOCITY HURRICANE ZONE (HVHZ) OR IN ASTM E-1996 WIND ZONE 4 AREAS.
2. GLAZING OPTIONS (SEE SHEET 2)
3. CONFIGURATIONS: "O/X"
4. DESIGN PRESSURE RATING
-NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E-1300-04#01/09.
-POSITIVE DESIGN LOADS BASED ON TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE AND GLASS TABLES ASTM E-1300-04#01/09.
5. ANCHORAGE: THE 33 1/2% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEET 5 FOR ANCHOR DETAILS. WINDLOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS.
6. PRODUCT APPROVED FOR IMPACT RESISTANCE. SHUTTERS ARE NOT REQUIRED.
7. ALL FRAMES AND VENTS FULLY WELDED. SMALL JOINT SEAM SEALANT USED AT VENT MEETING RAIL AND JAMB.
8. SERIES / MODEL DESIGNATION SH-6100.
9. THE DESIGNATION X AND O STAND FOR THE FOLLOWING:
X = OPERABLE SASH, O = FIXED SASH
10. SECTION CALLOUTS APPLY TO ALL ELEVATIONS IN A SIMILAR LOCATION.
11. EXTERNAL WEEP SLOT = 1/4" x 1-1/2" LOCATED 5" FROM BOTH ENDS.

Lucas Turner
2020.07.27
11:24:38
-05'00'

6100 PVC SINGLE HUNG IMPACT

PROPRIETARY AND CONFIDENTIAL
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7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc Trl
Camden, TN 38320
PH. 941-380-1574

SHEET DESCRIPTION

GENERAL NOTES AND ELEVATIONS

DRAWN BY:	EMK	DATE:	05/26/15
DWG #:	CWS-1068	REV:	D
SCALE:	1:20	SHEET	1 OF 5

GENERAL NOTES & ELEVATIONS	1
SECTION VIEWS & GLAZING	2
EXTRUSIONS & B.O.M.	3
ANCHOR SCHEDULE & NOTES	4
INSTALLATION DETAIL	5

MAX. UNIT SIZE	DESIGN PRESSURE RATING	IMPACT RATING
53-1/8" x 76"	+/- 50 PSF	LARGE MISSILE IMPACT

**6100 PVC
SINGLE HUNG
IMPACT**

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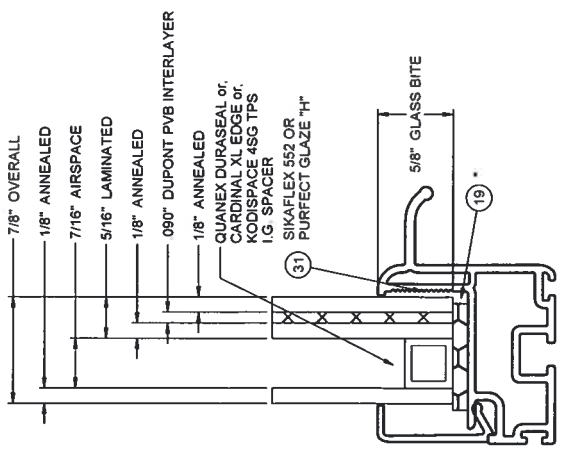


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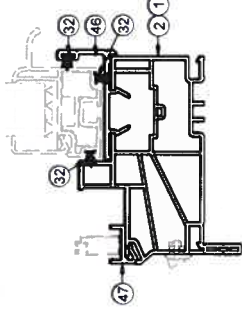
SHEET DESCRIPTION
SECTION VIEWS AND
GLAZING DETAIL

DRAWN BY:	EMK	DATE:	05/26/15
DWG #:	CWS-1068	REV.:	D
SCALE:	1:2		
			SHEET 2 OF 5

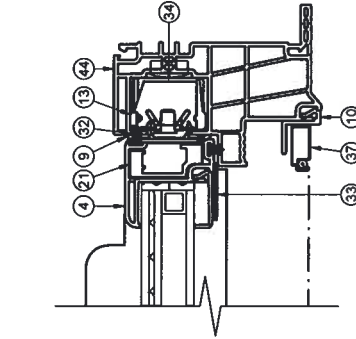


GLASS TYPE A
1:1

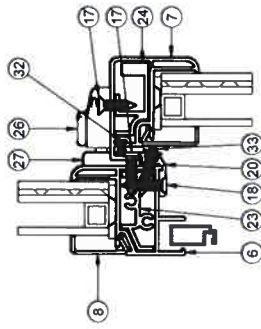
SETTING BLOCKS PER FBC 2411.3.3.1



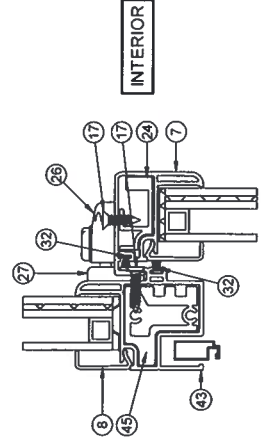
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- FIN FRAME AVAILABLE FOR BOTH UNI-FRAME
AND STANDARD FRAME TYPES.
- 880 BALANCERS AND DEEP POCKET UNI-FRAME
(H-6193) REQUIRED FOR LARGER SASHES.



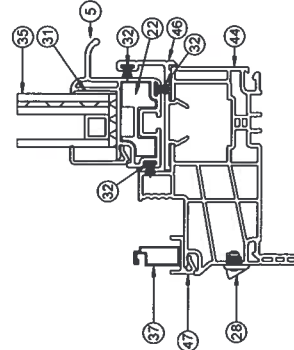
SECTION B-B



SECTION C-C
ALT MTG RAIL
AND SLOPE SILL



SECTION A-A

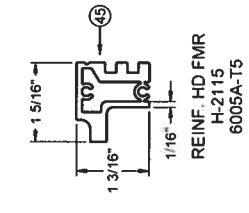
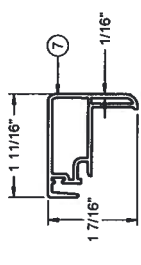
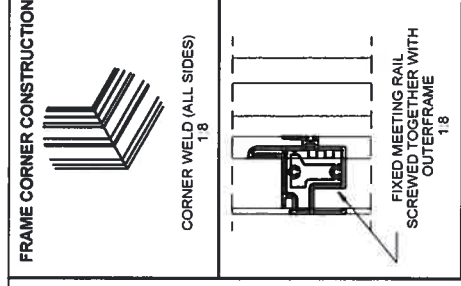
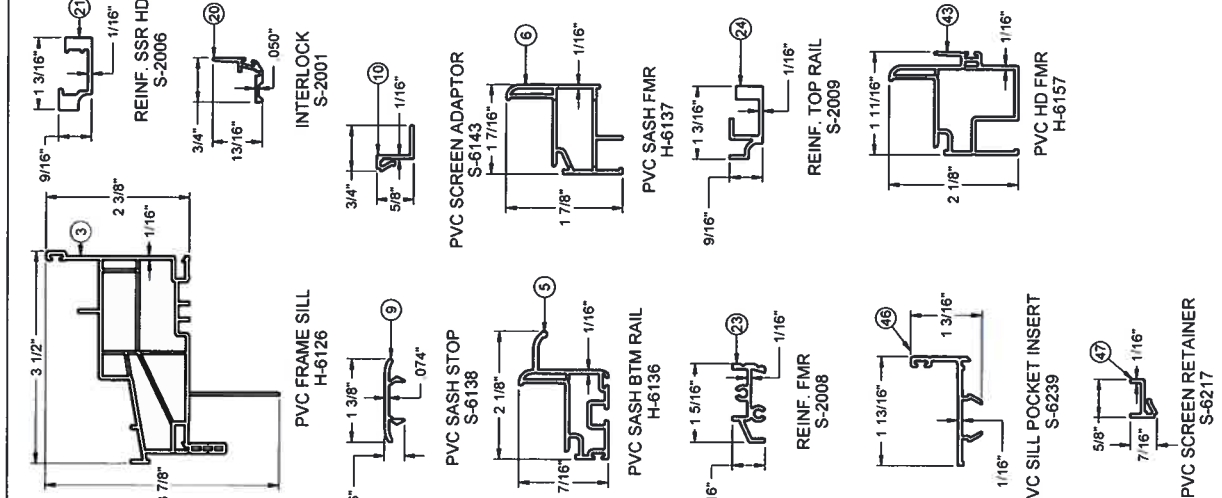
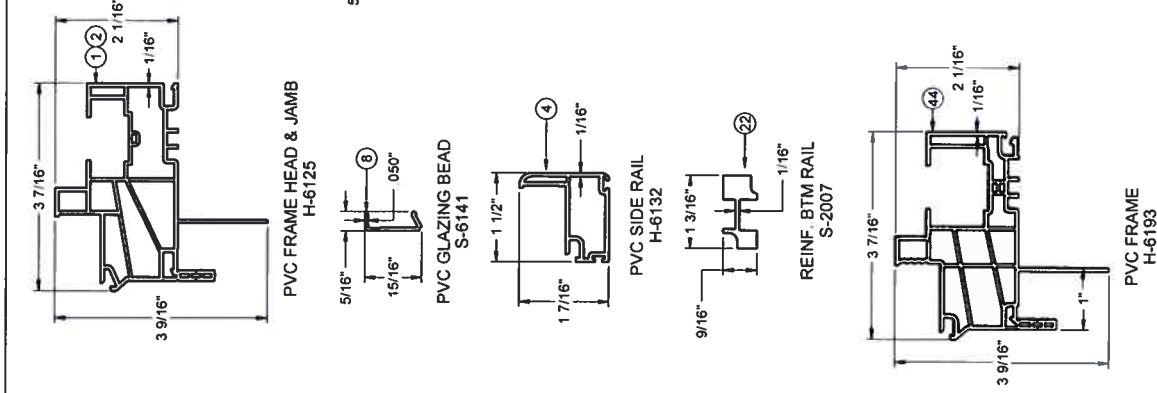


NOTE: ITEMS NOT SHOWN FOR CLARITY: 38-41

INTERIOR

INTERIOR

ITEM	PART DESCRIPTION	MATERIAL
1	H-6125 HEAD, OUTERFRAME	PVC
2	H-6125 JAMBS, OUTERFRAME	PVC
3	H-6125 SILL, OUTERFRAME	PVC
4	H-6132 SASH SIDE RAIL	PVC
5	H-6136 SASH BOTTOM RAIL	PVC
6	H-6137 FIXED MEETING RAIL	PVC
7	H-6138 SASH TOP RAIL	PVC
8	S-6141 GLAZING BEAD	PVC
9	S-6142 SASH STOP	PVC
10	S-6143 SCREEN ADAPTOR	PVC
11	P-5085 WSTP, OLON BUJER VINYL	
12	P-5471 WSTP, OLON BULE VINYL	
13	BALANCERS - CONSTANT FORCE RT 880	NYLON
14	P-5392 SASH TILT LATCH	SS
16	P-5396 PIVOT BAR	STEEL
17	P-3515 RB X 3/8 PHIL FLAT WHITE SMS	STEEL
18	P-4146 RB X 3/4 PHIL FLAT TEK	STEEL
19	P-5615 SETTLING BLOCK	RUBBER
20	S-2001 INTERLOCK RAIL	ALUM
21	S-2006 REINF, SASH SIDE RAIL, HD	ALUM
22	S-2007 REINF, BOTTOM RAIL	ALUM
23	S-2008 REINF, FMR	ALUM
24	S-2009 REINF, TOP RAIL	ALUM
26	P-3783 IMPACT LOCKS	NYLON
27	P-3784 IMPACT KEEPERS	NYLON
28	P-5420 WEEP COVER	NYLON
31	SIKA FLEX 552 OR PURFECT GLAZE 'H'	SILICONE
32	P-3305 WSTP, 270 X 187, SOFT TOUCH FIN	NYLON
34	P-5588 HOLE PLUG	NYLON
35	GLASS - SEE SHEET 2	
36	P-4638 RB X 2-1/2 PHIL TRUSS TEK	STEEL
37	P-3218 SCREEN FRAME	ALUM
38	P-4754 SCREEN CORNER KEY	NYLON
39	P-3228 SCREEN SPUNE	
40	P-3029 SCREEN LIFTS	
41	P-3033 SCREEN SPRINGS	
43	H-6157 HD FIXED MEETING RAIL	PVC
44	H-6193 UNI-FRAME, 880 BALANCERS	PVC
45	H-2115 REINF, HD FMR	ALUM
46	S-6216 UNI-FRAME SILL POCKET INSERT	PVC
47	S-6217 UNI-FRAME SCREEN RETAINER	PVC



Custom WINDOW SYSTEMS
1900 SW 44TH AVE
OCALA, FLORIDA 34474
WWW.CWS.CC

6100 PVC SINGLE HUNG IMPACT

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7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc Trl
Camden, TN 38320
PH. 941-380-1574

SHEET DESCRIPTION:

BOM AND EXTRUSIONS

DRAWN BY:	EMK	DATE:	05/26/15
DWG #:	CWS-1068	REV:	D
SCALE:	1:2	SHEET:	3 OF 5

LINE ITEMS NOT USED:
15, 25, 28-30

NOTE: ALL EXTRUSIONS ARE ALUM. 6063-T6 UNLESS OTHERWISE NOTED.

**6100 PVC
SINGLE HUNG
IMPACT**

PROPRIETARY AND CONFIDENTIAL
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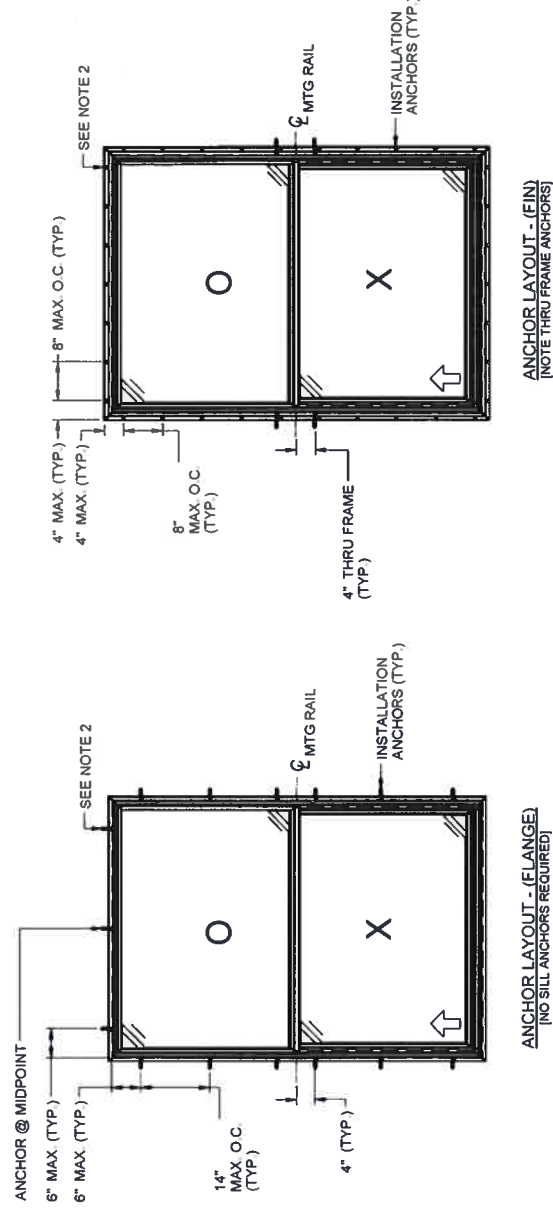


7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc T1
Camden, TN 38320
PH. 941-380-1574

SHEET DESCRIPTION
ANCHOR SCHEDULE AND
NOTES

DRAWN BY:	EMK	DATE:	05/26/15
DWG #:	CWS-1068	REV:	D
SCALE:	1:25	SHEET 4 OF 5	



ANCHOR LAYOUT - (FLANGE)
(NO SILL ANCHORS REQUIRED)

ANCHOR LAYOUT - (FIN)
(NOTE THRU FRAME ANCHORS)

NOTES:

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION.
2. SHIM AS REQ AT EACH INSTALLATION ANCHOR USING LOAD BEARING SHIMS. MAX. ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
3. ANCHOR TYPE, SIZE, SPACING AND EMBEDMENT SHALL BE AS SPECIFIED IN THESE DRAWINGS. SEE TABLE 1, SHEET 5
4. ALL INSTALLATION ANCHORS MUST BE MADE OF OR PROTECTED WITH A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
5. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS. AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM SPECIFIED IN TABLE 1, SHEET 5.
6. ANCHOR EMBEDMENT TO SUBSTRATE SHALL BE BEYOND WALL DRESSING OR STUCCO. FOR CONCRETE/CMU OPENINGS. EMBEDMENT SHALL BE BEYOND WOOD BUCKS. IF USED. INTO SUBSTRATE. INSTALLATIONS INTO SOLID CONCRETE OR GROUT-FILLED CMU MAY INCLUDE BUT DO NOT REQUIRE 1X WOOD BUCKS BETWEEN THE PRODUCT AND SUBSTRATE. INSTALLATIONS INTO HOLLOW CMU REQUIRE THE USE OF 1X WOOD BUCKS BETWEEN THE PRODUCT AND SUBSTRATE.
7. A MINIMUM CENTER-TO-CENTER SPACING SHALL BE MAINTAINED BETWEEN ALL FASTENERS: 3-9/16" FOR MASONRY, 1" FOR WOOD AND METAL
8. WOOD OR MASONRY OPENINGS, BUCKS AND BUCK FASTENERS SHALL BE PROPERLY DESIGNED BY THE ARCHITECT OR ENGINEER OF RECORD AND INSTALLED TO TRANSFER WIND LOADS TO THE STRUCTURE. SUBSTRATES SHALL MEET THE MINIMUM STRENGTH REQUIREMENTS AS SHOWN IN TABLE 1, SHEET 5. CONCRETE AND MASONRY SUBSTRATES MAY NOT BE CRACKED.
9. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS FOLLOWING THE CURRENT VERSION OF THE REFERENCE DOCUMENTS
FMA/AAMA 100(FIN WINDOWS), FMA/AAMA 200(FLANGE WINDOWS), FMA/WDMA 250(BOX WINDOWS), FMA/AAMA/WDMA 300(EXTERIOR DOORS)

**6100 PVC
SINGLE HUNG
IMPACT**

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7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc Tr1
Camden, TN 38320
PH. 941-380-1574

SHEET DESCRIPTION

INSTALLATION DETAILS

DRAWN BY: EMK

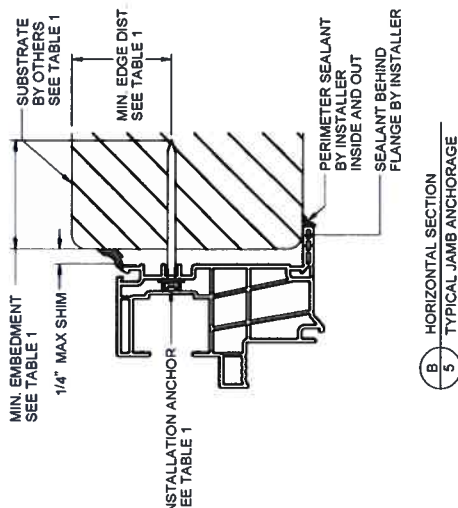
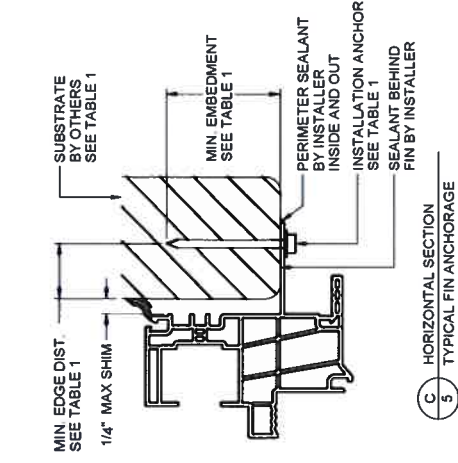
DATE: 05/26/15

DWG #: CWS-1068

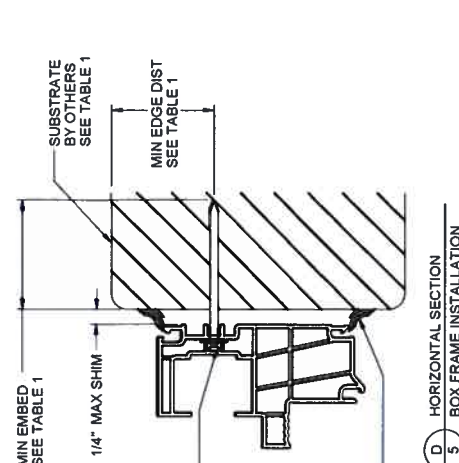
REV: D

SCALE: 1:2

SHEET 5 OF 5



NOTE: ADDITIONAL THRU-FRAME ANCHORS (AS SHOWN IN DET. B/5) REQ'D AT MTG RAIL. SEE SHEET 4 ANCHOR LAYOUT.



FLANGE REMOVAL NOTE: PARTIALLY OR FULLY REMOVING THE FLANGE, UP TO AND INCLUDING A BOX-FRAME APPLICATION IS ACCEPTABLE PROVIDED:
- MIN. 1/4" FILLET OF CONSTRUCTION-GRADE ADHESIVE CAULK IS APPLIED INSIDE AND OUT, FULL PERIMETER, BY INSTALLER.
- PRODUCT ANCHORAGE IS IN ACCORDANCE WITH REQUIREMENTS AS SHOWN FOR FLANGE WINDOWS.

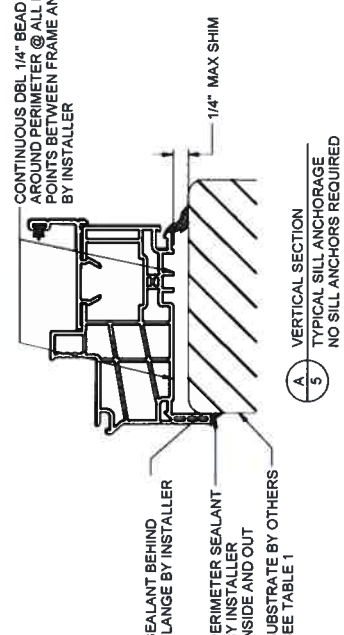
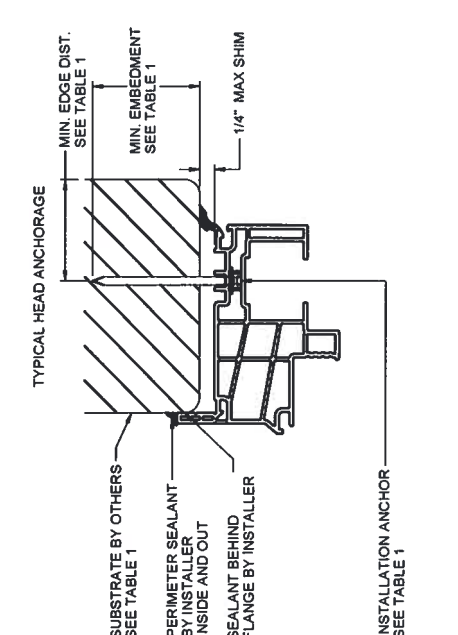
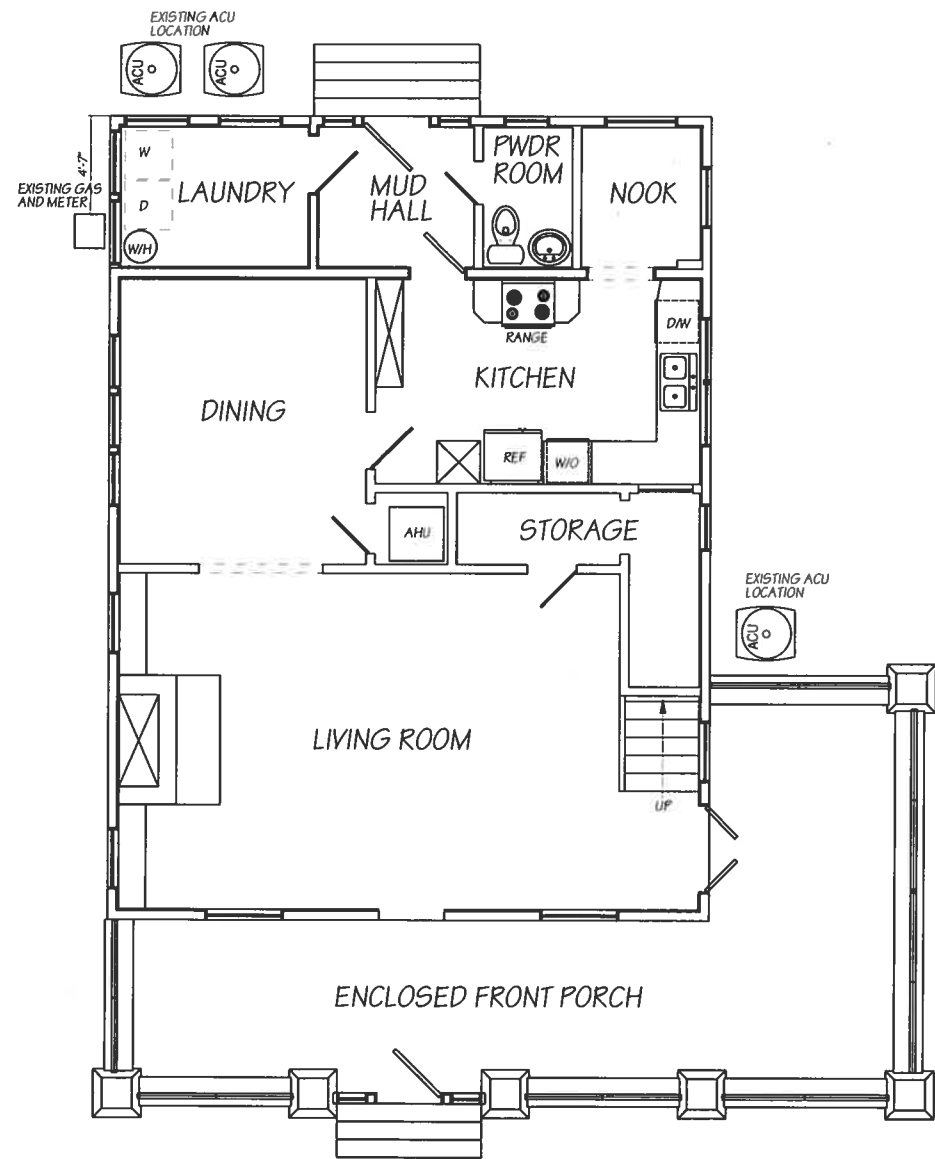


TABLE 1: APPROVED INSTALLATION FASTENERS

FRAME TYPE	SUBSTRATE TYPE	ANCHOR TYPE	MIN. EMBEDMENT	MIN. EDGE DIST.
FLANGE	CONCRETE (2.0 KSI MIN.)	3/16" ITW TAPCON	1"	1-1/8"
FLANGE	HOLLOW OR GROUT-FILLED CMU (117 PCF MIN.)	3/16" ITW TAPCON	1"	2"
FLANGE	CONCRETE (2.85 KSI MIN.)	3/16" ELCO UL TRACON	1"	1"
FLANGE	GROUT-FILLED CMU (ASTM C-90)	3/16" ELCO UL TRACON	1-3/4"	2-1/2"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	3/16" ITW TAPCON OR ELCO UL TRACON	1-3/8"	7/8"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-3/8"	7/8"
FLANGE	16 GAUGE (0.0607") MIN. STEEL STUD (33 KSI YIELD MIN)	#10-16 HILTI KWIK-FLEX OR ITW TEKS SELF-DRILLING SCREW	FULL THREAD THRU 0.060"	7/16"
FLANGE	1/8" ALUM. (6063-T5 MIN.) OR 1/8" STEEL (33 KSI MIN.)	#10 GRADE 5 SELF-TAPPING / DRILLING SCREW	FULL THREAD THRU 0.125"	7/16"
FIN	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-1/2"	1/2"

NOTE: UNIF-FRAME OPTIONS NOT SHOWN.

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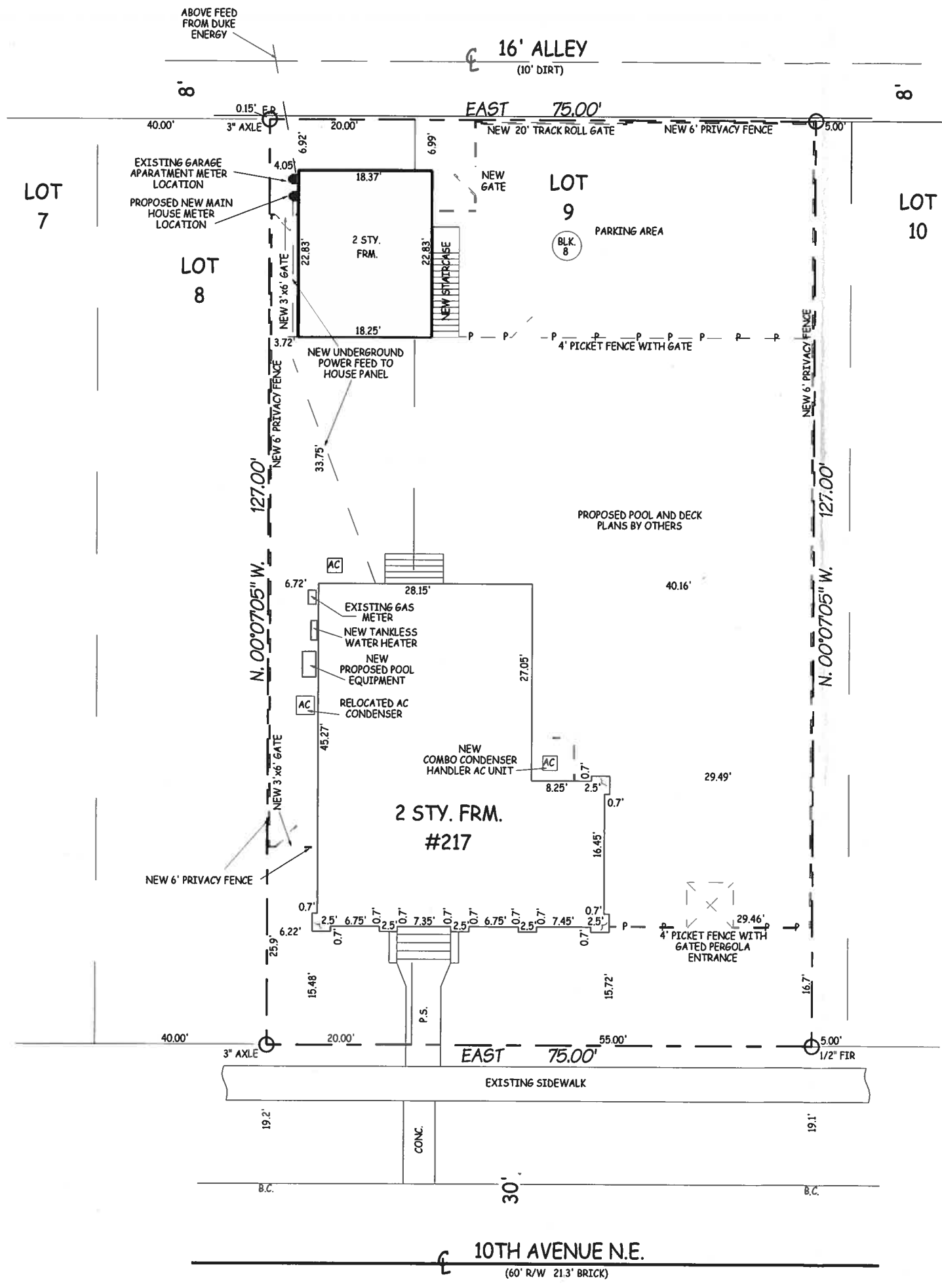
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY PLAN SET
NOT FOR PERMIT

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF BAKER STREET DESIGNS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.



NORTH (ASSUMED)



LEGAL DESCRIPTION

A BOUNDARY SURVEY OF: The East 20.00 feet of Lot 8 and the West 55.00 feet of Lot 9, Block 8, SNELL & HAMLETT'S BAYVIEW ADDITION, as recorded in Plat Book 6, Page 11 of the Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

ZONING: ???

FLOOD ZONE: ?

SITE PLAN
SCALE: 1/8" = 1'-0"

A I	B D	Baker Street Designs 14227 Puffin Court Clearwater, Florida 33762 (727) 656-5216	Hussy Remodel 217 - 10th Avenue N.E. St. Petersburg, Florida	KONSTRUCT BUILDERS, INC (727) 450-7518 855 - 37th Ave. N., St. Petersburg, FL	© 2020 BAKER STREET DESIGNS
		SCALE 1/4" = 1'-0" DATE 05/26/2021 REV.	DATE 05/26/2021 REV.	PAGE # 1	

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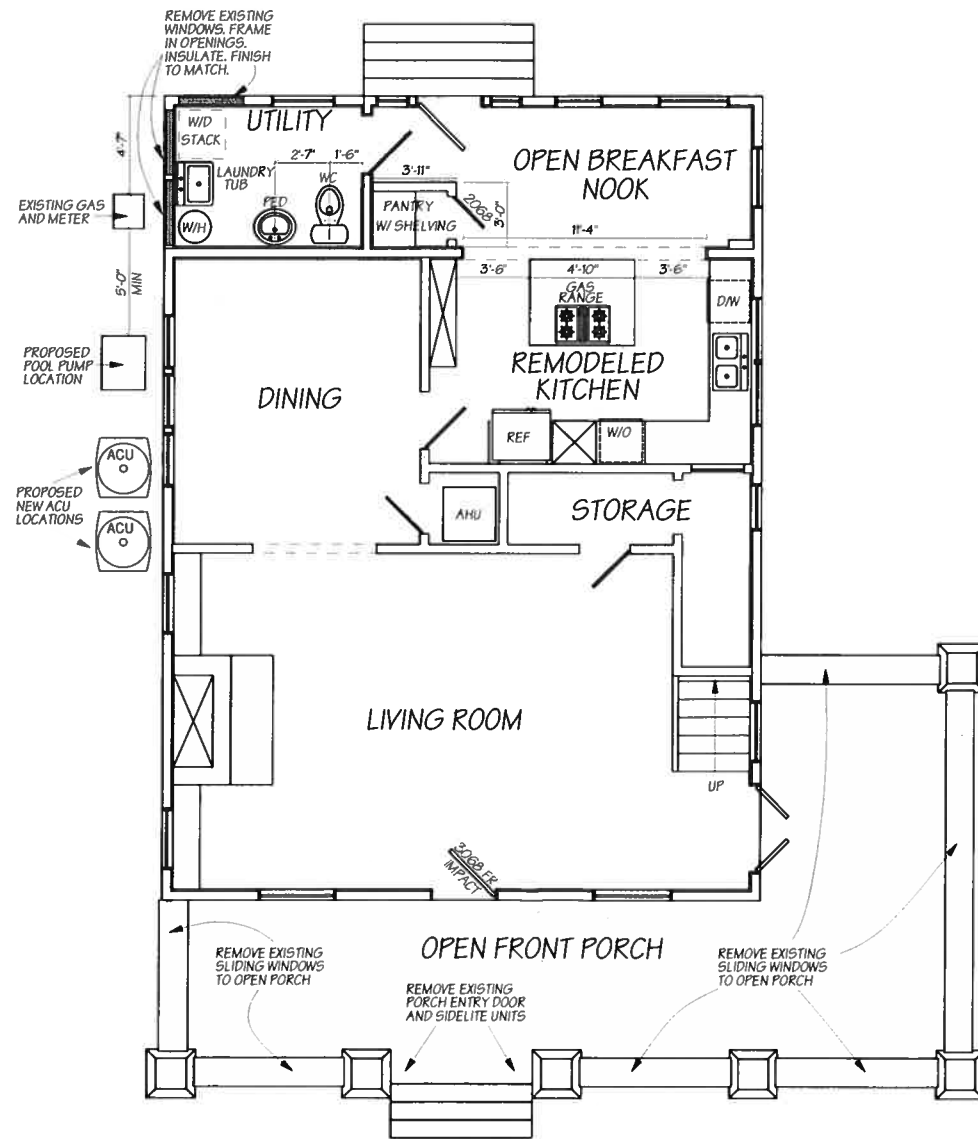


PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY PLAN SET
NOT FOR PERMIT



PROPOSED 1ST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

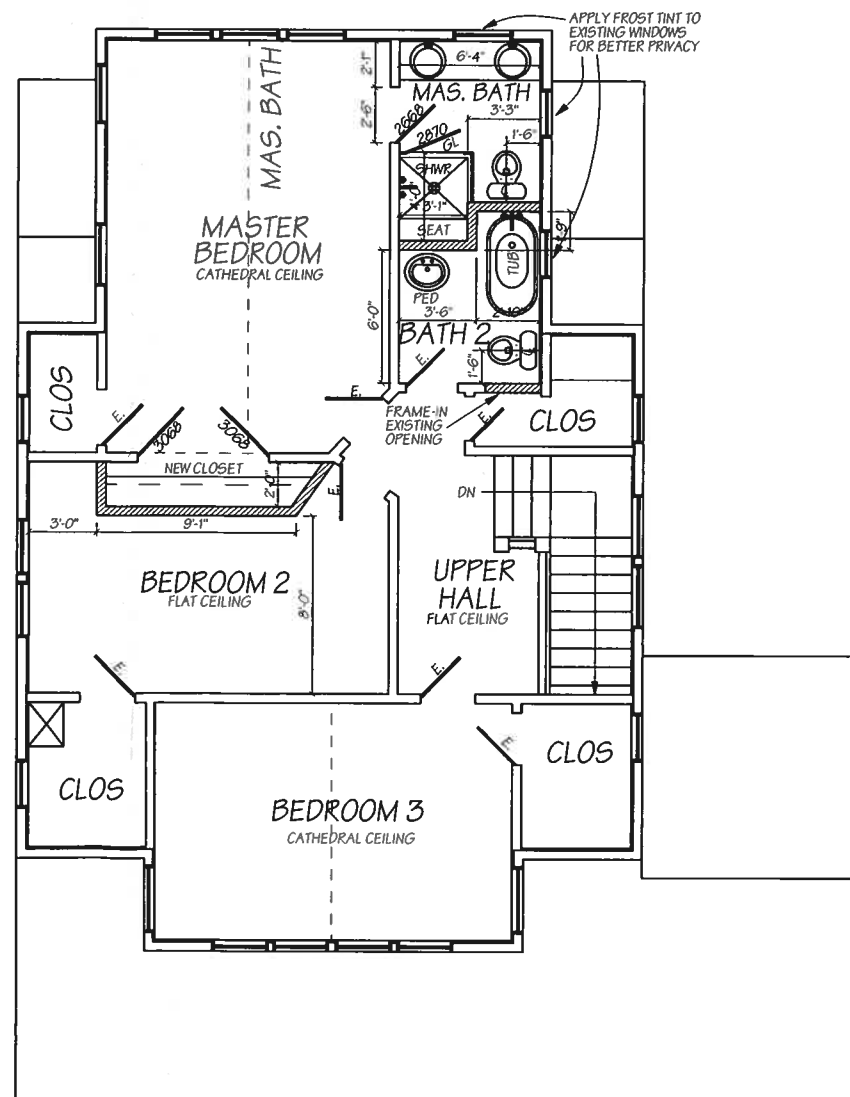
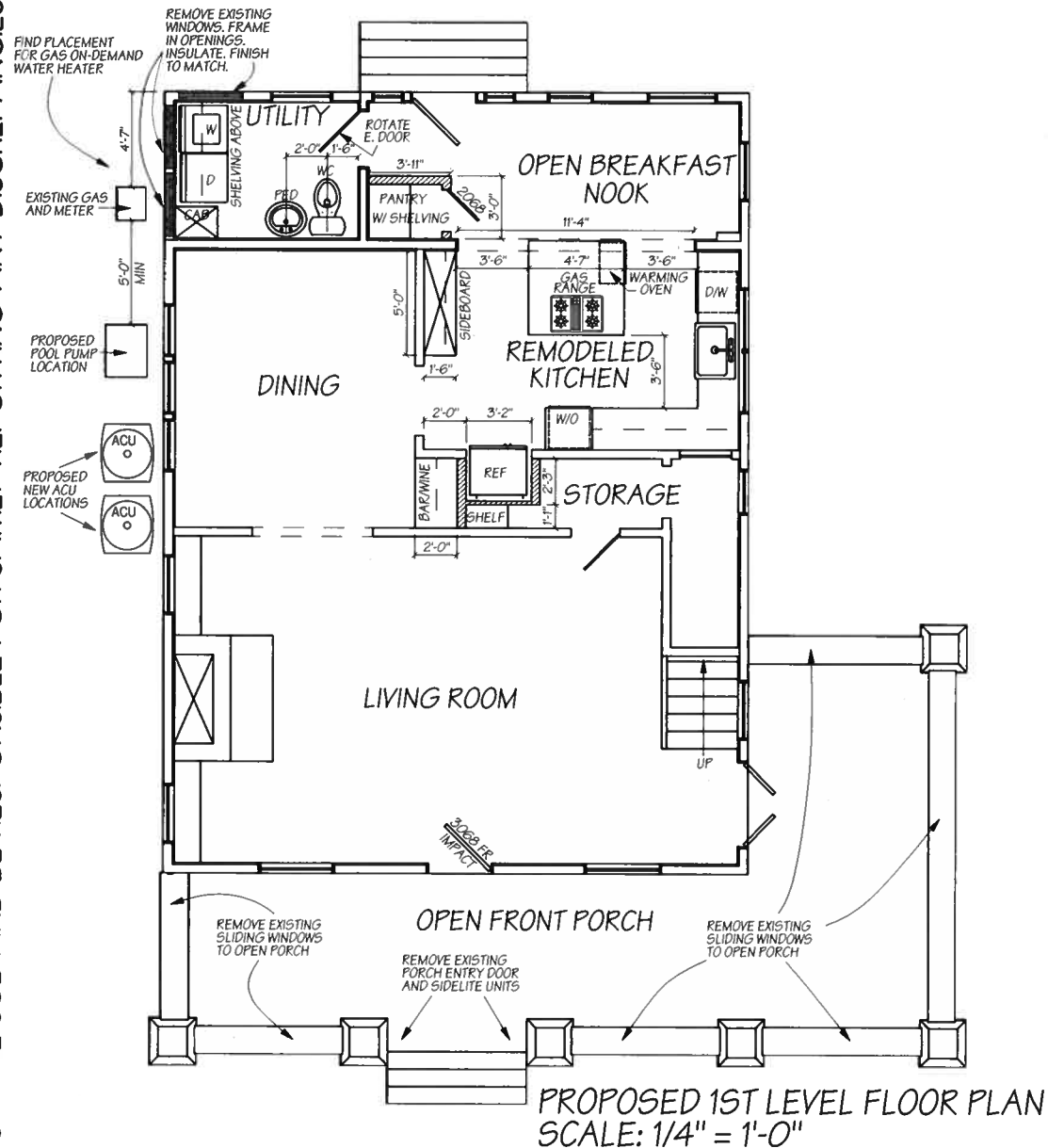
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PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0"



PRELIMINARY PLAN SET
NOT FOR PERMIT

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KONSTRUCT BUILDERS, INC
 (727) 450-7518
 855 - 37th Ave. N., St. Petersburg, FL

Hussy Remodel
 217 - 10th Avenue N.E.
 St. Petersburg, Florida

Baker Street Designs
 14227 Puffin Court
 Clearwater, Florida 33762
 (727) 656-5216

SCALE 1/4" = 1'-0"
 DATE 05/26/21
 REV.

PAGE # **3**

A | **B** | **D**

FRACE

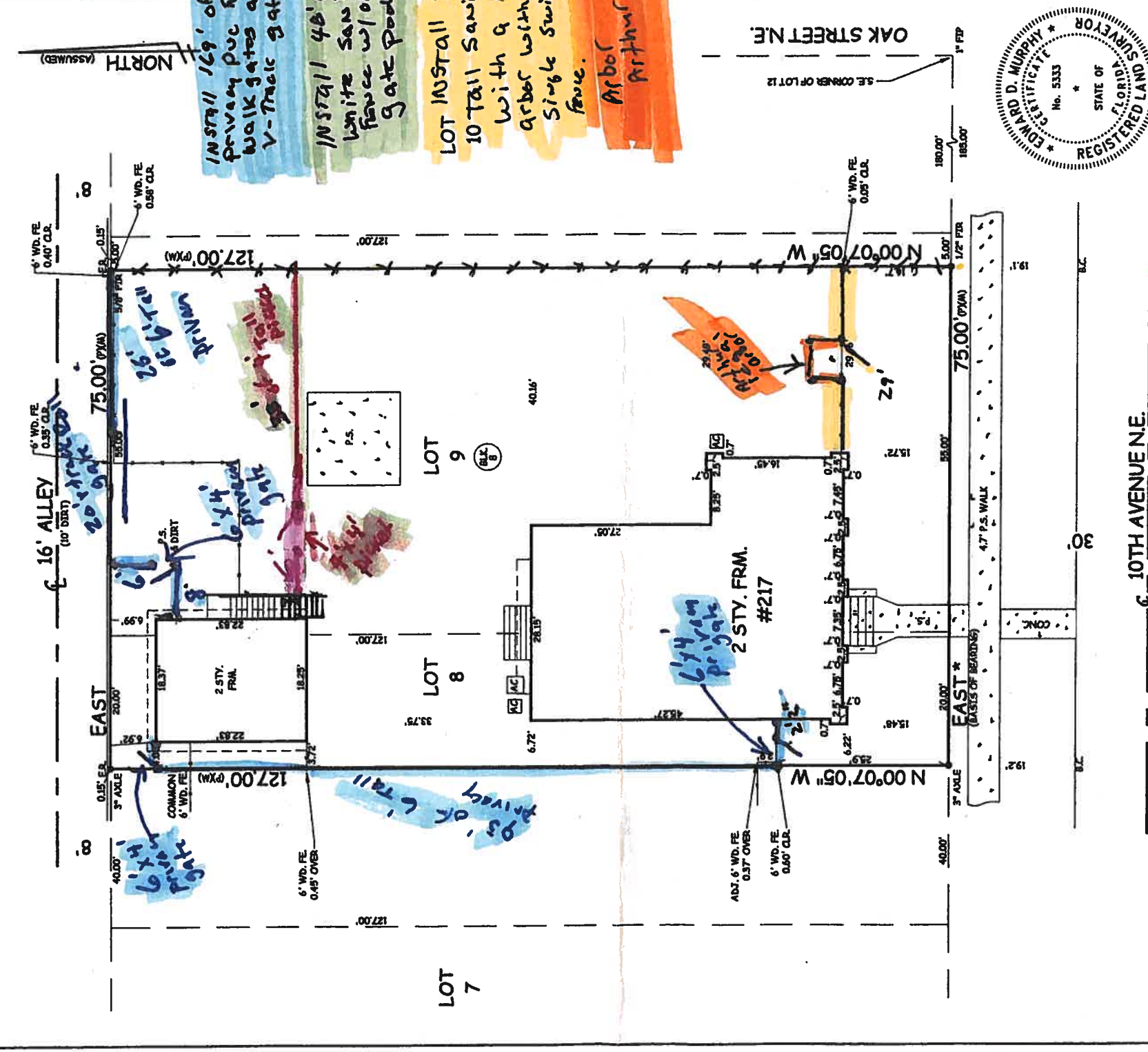
MURPHY'S LAND SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
 5760 11TH AVENUE NORTH
 ST. PETERSBURG, FLORIDA 33710
 WWW.MURPHYSLANDSURVEYING.COM

L.B. #7410
PH. (727) 347-8740
FAX (727) 344-4640

JOB NO.: 210618
DRAWN BY: PAD
CHECKED BY: EDM
DATE OF FIELD WORK: 4/16/2021

CERTIFIED TO: Michael Hussey

SCALE: 1" = 20'
SEC. 18 TWP. 31 S. RGE. 17 E.
 Survey not valid for more than one (1) year from date of field work.



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According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X
 Comm. Panel No. : 125148 0217 G Map Date : 9/03/03 Base Flood Elev : NA

FOR THE EXCLUSIVE USE OF THE PERSON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND THEREON, AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 61-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNLESS OTHERWISE INDICATED, ALL BEARINGS AND DISTANCES ARE IN DECIMAL DEGREES AND FEET. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REMAINING SURVEY RECORDS. SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK, AND NOT VALID UNLESS ENDORSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.

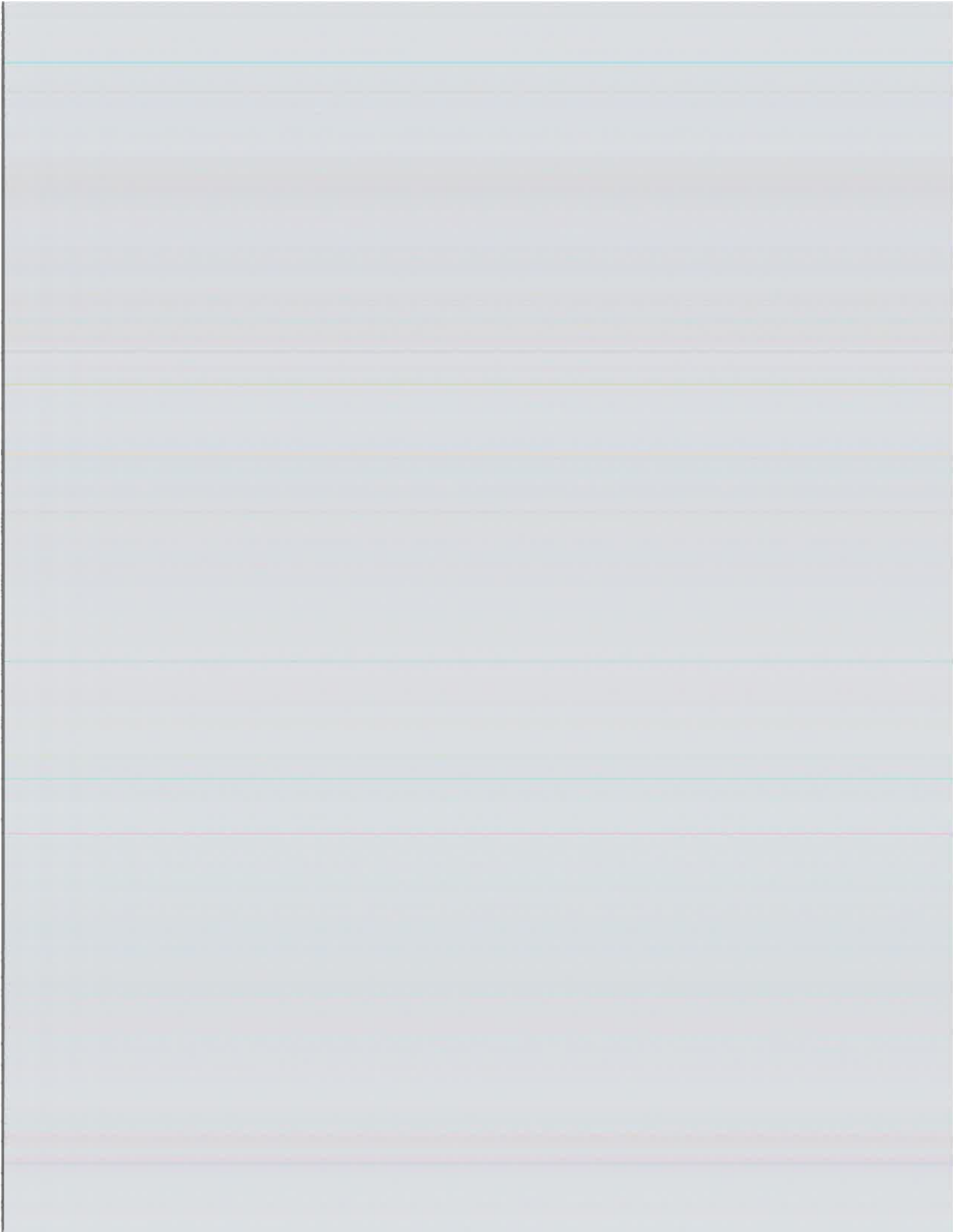
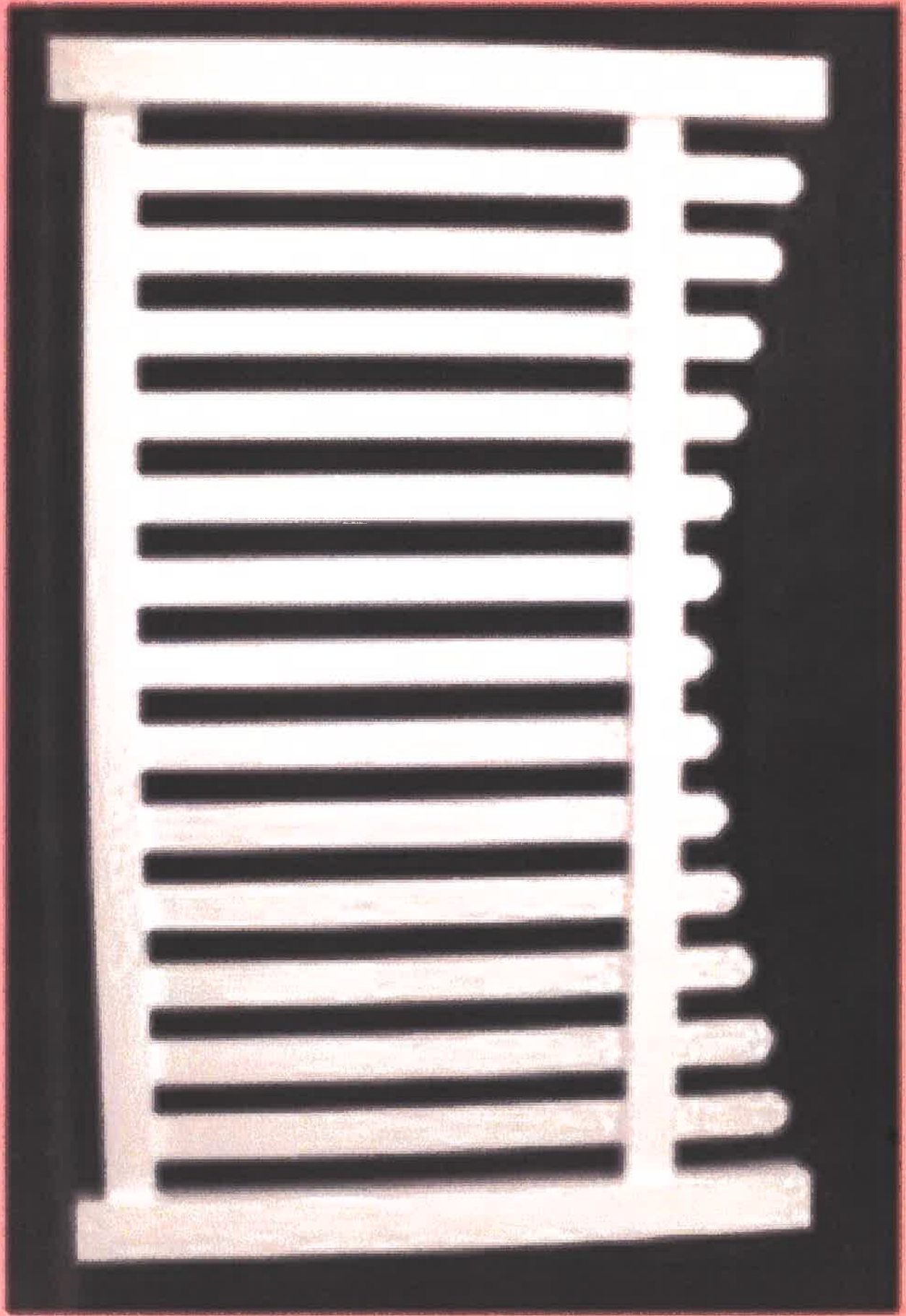
*** BEARINGS SHOWN ARE ASSUMED**

- LEGEND:**
- F.I.P. - FOUND IRON PIPE
 - F.C.M. - FOUND CONCRETE MONUMENT
 - F.I.R. - FOUND IRON ROD
 - S.I.R. - SET IRON ROD 1/2" LB #7410
 - P.C.C. - POINT OF CURVATURE
 - P.C.T. - POINT OF TANGENCY
 - P.I. - POINT OF INTERSECTION
 - X-X-X - FENCE
 - FE - FENCE
 - P.F.M. - FINISHED FLOOR ELEVATION
 - P.F.M. - FINISHED FLOOR ELEVATION
 - N.A.V.D. - NORTH AMERICAN VERTICAL DATUM OF 1988
 - FD - FOUND
 - N.A.D. - NAIL AND DISK
 - P.O.L. - POINT ON LINE
 - P.C. - POINT OF CURVATURE
 - P.T. - POINT OF TANGENCY
 - X-X-X - FENCE
 - FE - FENCE
 - C.L.F. - CHAIN LINK FENCE
 - A.D.J. - ADJACENT
 - R - RADIUS
 - A - ARC
 - C - CHORD
 - Δ - DELTA
 - RM - RIGHT OF WAY
 - # - NUMBER
 - FRM. - MASONRY
 - O.I. - ORATE INLET
 - C.I. - CATCH BASIN
 - P.L. - FIRE HYDRANT
 - M.B. - METAL BUSH
 - ALM. - ALUMINUM
 - WH. - WATER HEATER
 - P.S. - PATIO STONE
 - C.P. - CEMENT
 - PL. - PLANTER
 - B.C. - BACK OF CURB
 - E.P. - EDGE OF PAVEMENT
 - E.R. - EDGE OF ROAD
 - E.O.W. - EDGE OF WATER
 - T.O.S. - TOP OF BANK
 - WH. - MASONRY WALL
 - C - CENTERLINE
 - RM - RIGHT OF WAY
 - (P) - PLAT
 - (C) - CALCULATION
 - (D) - DEED
 - (M) - MEASURED
 - N. - NORTH
 - S. - SOUTH
 - E. - EAST
 - W. - WEST
 - EMT. - EASEMENT
 - M.H. - MANHOLE
 - CONC. - CONCRETE
 - CLR. - CLEAR
 - COL. - COLUMN
 - WD. - WOOD
 - BLK. - BLOCK
 - SW. - BEAM WALL
 - ASPH. - ASPHALT
 - UTL. - UTILITY
 - DR. - DRAINAGE
 - CM. - CEMENT
 - CU. WD. - COVERED WOOD
 - CP. B. - COVERED PATIO STONE
 - CC - COVERED CONCRETE
 - AC. - AIR CONDITIONER
 - S.P. - SCREENED PORCH
 - P.P. - OVERHEAD POWER LINES
 - T.T. - OVERHEAD TELEPHONE LINES
 - P.P. - POWER POLE
 - L.P. - LIGHT POLE

EDWARD D. MURPHY REG. P.E. # 8333

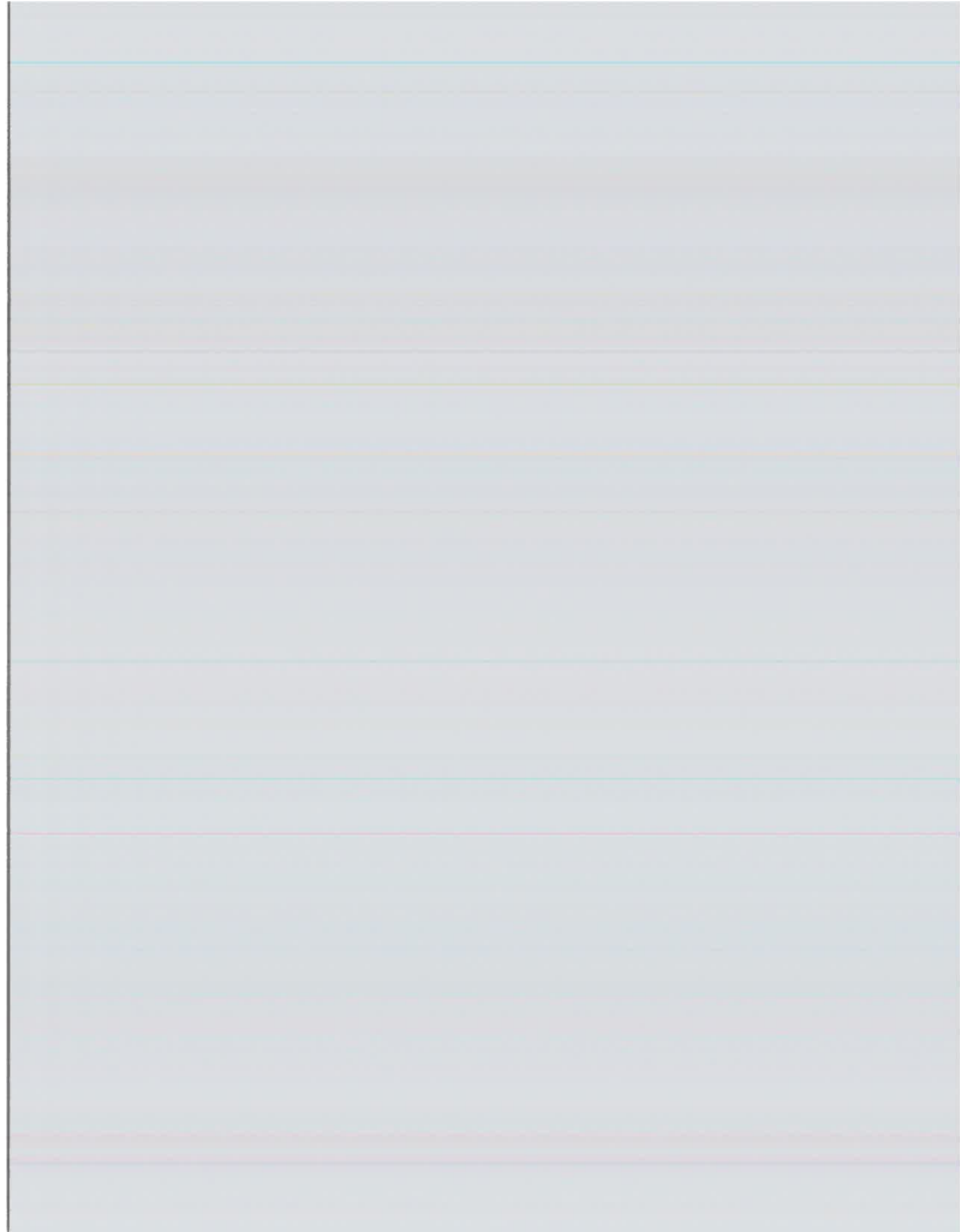


Garden Pergola





T&G Privacy Fence



JOB NO: 210618
 DRAWN BY: PAD
 CHECKED BY: EDM
 DATE OF FIELD WORK: 4/16/2021

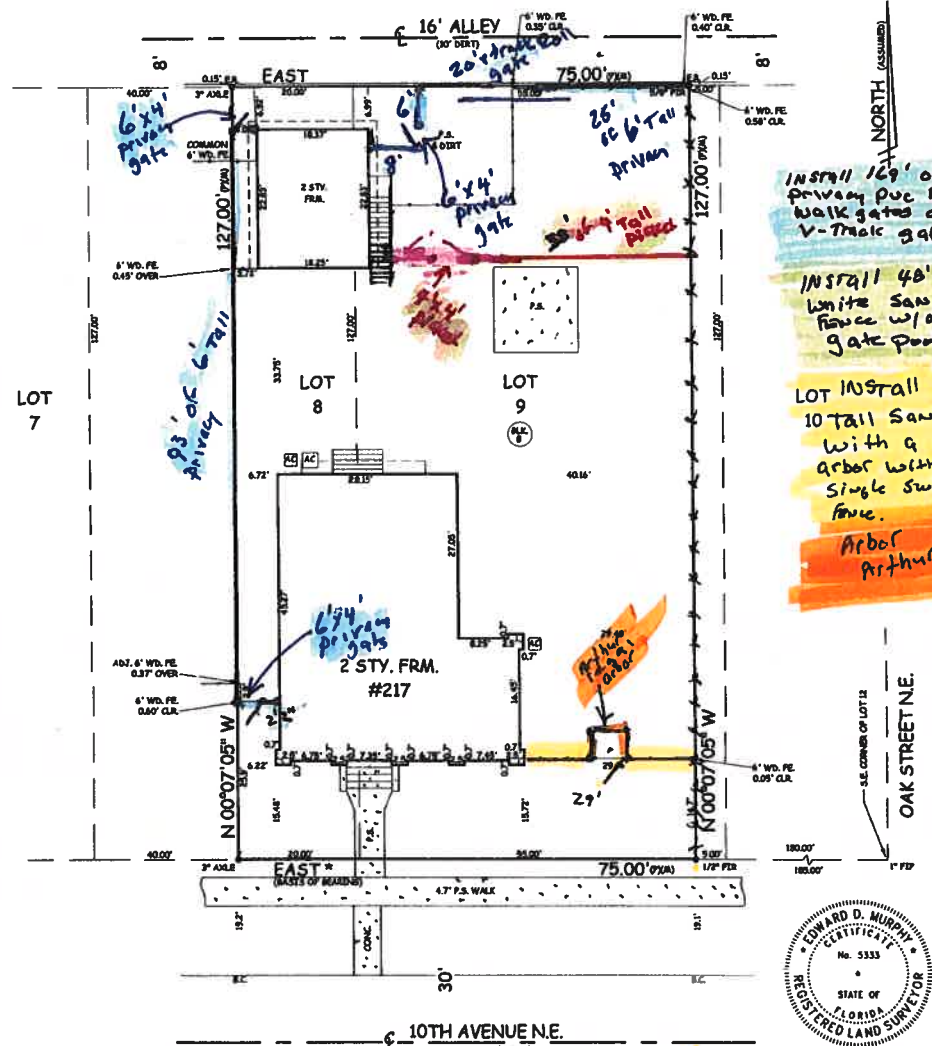
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L.B. #7410
 PH. (727) 347-8740
 FAX (727) 344-4840

CERTIFIED TO: Michael Hussey

SCALE: 1" = 20'
 Survey not valid for more than one (1) year from date of field work.

SEC. 18 TWP. 31 S. RGE. 17 E.



INSTALL 169' of 6' Tall white privacy picket fence 3-6'x4' walk gates and one 6'x20' V-Track gate

INSTALL 48' of 4' Tall white Sanibel picket concrete fence w/one 4'x4' walk gate pool code

LOT 10 install 29' of 60" 10 Tall Sanibel picket concrete with a Arthur regal arbor with a 60"x48" single swing to main fence.

Arbor Arthur Regal



A BOUNDARY SURVEY OF: The East 20.00 feet of Lot 8 and the West 55.00 feet of Lot 9, Block 8, SNELL & HAMLETT'S BAYVIEW ADDITION, as recorded in Plat Book 6, Page 11 of the Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X Comm. Panel No.: 125148 0217 G Map Date: 9/03/03 Base Flood Elev: NA

FOR THE EXCLUSIVE USE OF THE HEREON PARTIES, I HEREBY CERTIFY TO THE ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE) AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 54.17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY (THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVEALING A CURRENT TITLE SEARCH). SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED NOTIFICATION SEAL BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.

* BEARINGS SHOWN ARE ASSUMED

LEGEND:	FD - FOUND	R - RADIUS	MS - METAL SHED	WHW - WOOD WALL	EMT - EASEMENT	OH - OVERHANG
F.I.P. - FOUND IRON PIPE	N.A.D. - NAIL AND DISK	A - ARC	ALUM - ALUMINUM	C - CENTERLINE	M.H. - MANHOLE	OH - GARAGE
F.C.M. - FOUND CONCRETE MONUMENT	P.O.L. - POINT ON LINE	C - CHORD	W.H. - WATER HEATER	R.W. - RIGHT OF WAY	CONC. - CONCRETE	OH - COVERED WOOD
F.L.R. - FOUND IRON ROD	P.C. - POINT OF CURVATURE	DELTA - DELTA	P.S. - PATIO STONE	CP - CALCULATION	CLR - CLEAR	CP.S. - COVERED PATIO STONE
S.L.R. - SET IRON ROD 1/2" LB #410	P.T. - POINT OF TANGENCY	R.W. - RIGHT OF WAY	CP - CARPORT	CL - COLLUM	COL - COVERED CONCRETE	CONC. - COVERED CONCRETE
P.C. - POINT OF REVERSE CURVATURE	P.I. - POINT OF INTERSECTION	R - RADIUS	P.L. - PLASTER	W.C. - WOOD	AC - AIR CONDITIONER	AC - AIR CONDITIONER
P.O.C. - POINT OF COMPOUND CURVATURE	F.E. - FENCE	M.B. - MASONRY	S.C. - BACK OF CURB	BLK - BLOCK	S.P. - SCREENED PORCH	S.P. - SCREENED PORCH
F.M. - FINISHED FLOOR ELEVATION	F.L. - FENCE	F.M. - FRAME	E.P. - EDGE OF PAVEMENT	SH - SHED	P.P. - OVERHEAD POWER LINES	P.P. - OVERHEAD POWER LINES
P.R.M. - PERMANENT REFERENCE MONUMENT	C.L.F. - CHAIN LINK FENCE	G.L. - GATE RAIL	E.R. - EDGE OF ROAD	ADM. - ASPHALT	T.T. - OVERHEAD TELEPHONE LINES	T.T. - OVERHEAD TELEPHONE LINES
N.A.V.D. - NORTH AMERICAN VERTICAL DATUM OF 1988	ADJ. - ADJACENT FENCE	C.B. - CATCH BASIN	E.O.W. - EDGE OF WATER	UTL. - UTILITY	P.P. - POWER POLE	P.P. - POWER POLE
	ADJ. - ADJACENT	F.L. - FIRE HYDRANT	T.O.B. - TOP OF BANK	DR. - DRAINAGE	L.P. - LIGHT POLE	L.P. - LIGHT POLE

Doors & Windows



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	DESCRIPTION	QTY	PRICE	EXTENDED
-------------	-------------	-----	-------	----------

Exterior Fiberglass
Entry Door
Standard

1

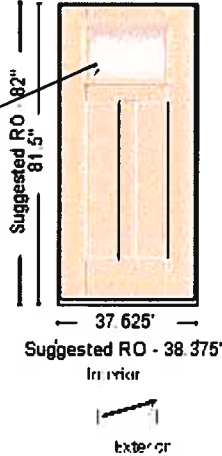
Unit Type and Dimensions :
Overall Size = 37.625 x 81.5
Frame Width = 37.625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: Left Hand
Nominal Width: 3'0"
Nominal Height: 6'8"

Design Options :
Material: Smooth-Star
Panel Design: Craftsman Lite 2 Panel Shaker
Cut Down: Yes
Height Cutdown: 0.5
Width Cutdown: 0
Glass Size: 21x15
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Craftsman 4 Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No

Grids to
be added





QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST.PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished

Hardware and Accessories :
Hinge Color: Stainless Steel
Hinge Type: Self-Aligning Ball-Bearing
Bore: Double Bore
Add Lockset Hardware: No
Backset: 2 3/8
Deadbolt Strike Prep: 9206 Standard
Screw Cover: No
Dentil Shelf: No
Peep Site: No
Security Strike: No
Security Strike Qty: 1
Weather Strip Color: Bronze
Rain Deflector: No
Dunnage Door: No



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	200-1	DESCRIPTION	QTY	PRICE	EXTENDED
-------------	-------	-------------	-----	-------	----------

Exterior Fiberglass
Double Entry Door
Standard

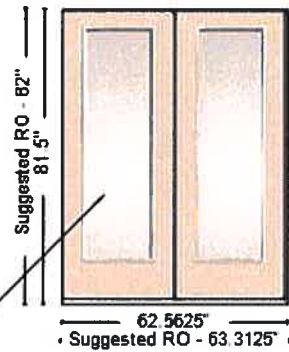
1

Unit Type and Dimensions :
Overall Size = 62.5625 x 81.5
Frame Width = 62.5625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: LH Active RH Inactive
Nominal Width: 5'0"
Nominal Height: 6'8"

Design Options :
Material: Smooth-Star
Panel Design: Full Lite W/ No Stile Lines
Cut Down: Yes
Height Cutdown: 0.5
Width Cutdown: 0
Glass Size: 20x64
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Custom Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No



Grids to be added



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME:BAY GLASS & WINDOWS
3150 39th Ave N
ST.PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished

Hardware and Accessories :
Hinge Color: Stainless Steel
Hinge Type: Self-Aligning Ball-Bearing
Bore: Double Bore
Inactive Bore: No Bore
Handleset for Inactive Door: No
Add Lockset Hardware: No
Backset: 2 3/8
Deadbolt Strike Prep: 9206 Standard
Screw Cover: No
Dentil Shelf: No
Peep Site: No
Security Strike: No
Weather Strip Color: Bronze
Rain Deflector: No



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	DESCRIPTION	QTY	PRICE	EXTENDED
-------------	-------------	-----	-------	----------

Exterior Fiberglass
Entry Door
Double Sidelite

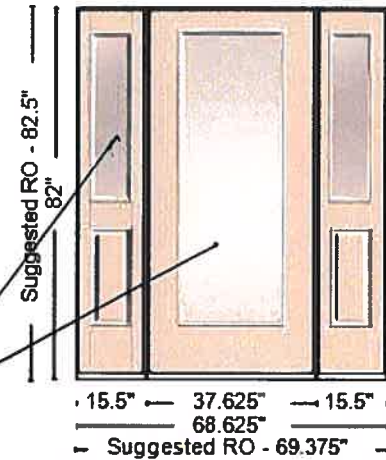
1

Unit Type and Dimensions :
Overall Size = 68.625 x 82
Unit 1, 3: Sidelite Frame Width = 15.5
Unit 2: Door Frame Width = 37.625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: Left Hand
Sidelite Swing: Fixed
Nominal Width: 3'0"
Nominal Height: 6'8"
Nominal Width - SL: 14"
Nominal Height - SL: 6'8"

Design Options :
Material: Smooth-Star
Panel Design: Full Lite W/ No Stile Lines
Cut Down: No
Width Cutdown: 0
Glass Size: 22x64
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Custom Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :
Material - SL: Smooth-Star
Glass Layout - SL: 1/2 Lite
Panel Design - SL: Half Lite Sidelite 1 Panel
Glass Size - SL: 8x36
Glass Type - SL: Clear Glass
Grille Style - SL: None
Internal Grille Color - SL: None
Glass Style - SL: Clear
Caming Option - SL: None

*frids to
be added*





QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME:BAY GLASS & WINDOWS
3150 39th Ave N
ST.PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

Low-E - SL: Yes

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Interior Mull Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No
Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Touch-Up Kit: Yes
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished

BAY GLASS & WINDOW INC. Preferred Builder


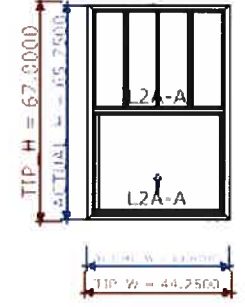
Bill To:	Ship To:
3150 39TH AVENUE NORTH ST. PETERSBURG, FL 33714 Ph: 727 525-3828	SHIP TO 3150 39TH AVENUE NORTH ST. PETERSBURG, FL 33714 Ph: 727 525-3828

Route: StPet


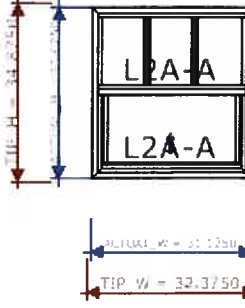
Cust No. BAY101-P3620

Cust PO#: Konstruct - Hussey (Main House)


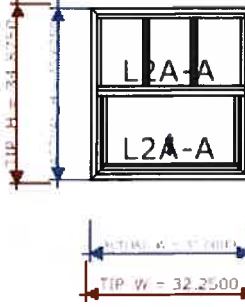
Version 1

<p>Item No. 1 Qty: 1</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 4 WIDE, 1 HI GRIDS IN FIXED WHITE, FPA #17791.1 Clr. Opng. MEETS EGRESS, ID: 2</p>	<p>Dimensions</p> <p>TIP: 44 1/4 x 67 ACTUAL: 43 x 65 3/4 SCREEN: 18 X 16</p> 	
--	--	---

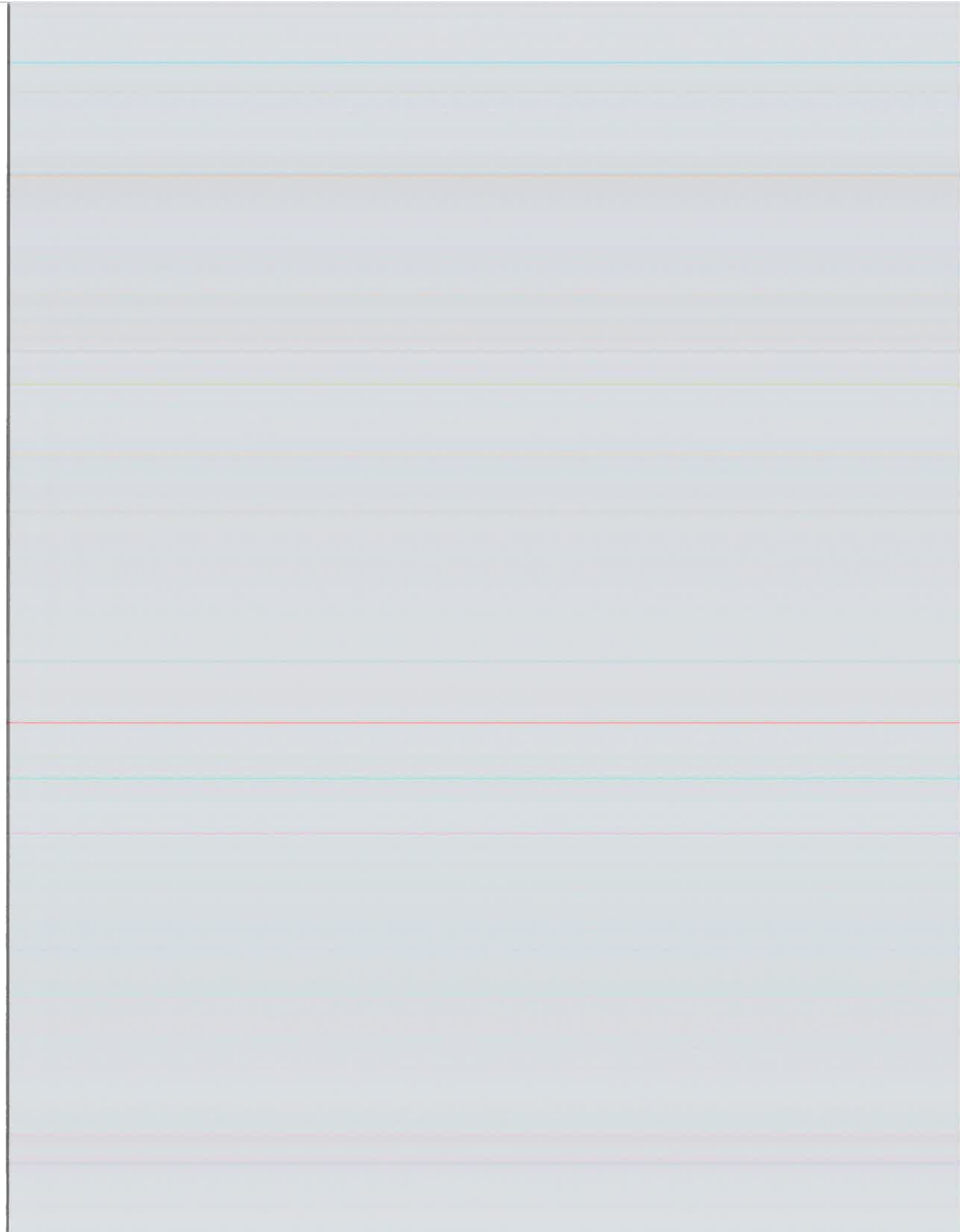
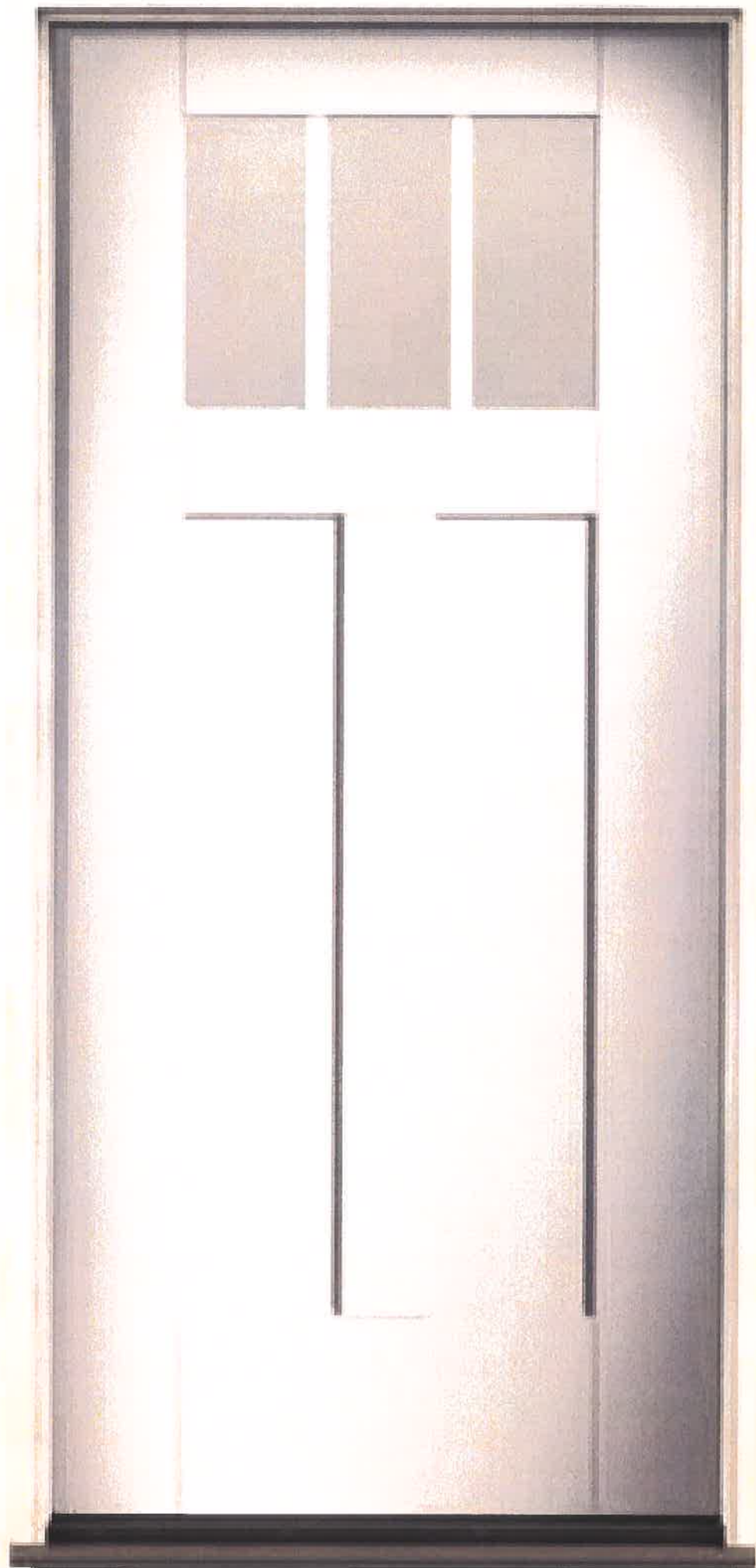
6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

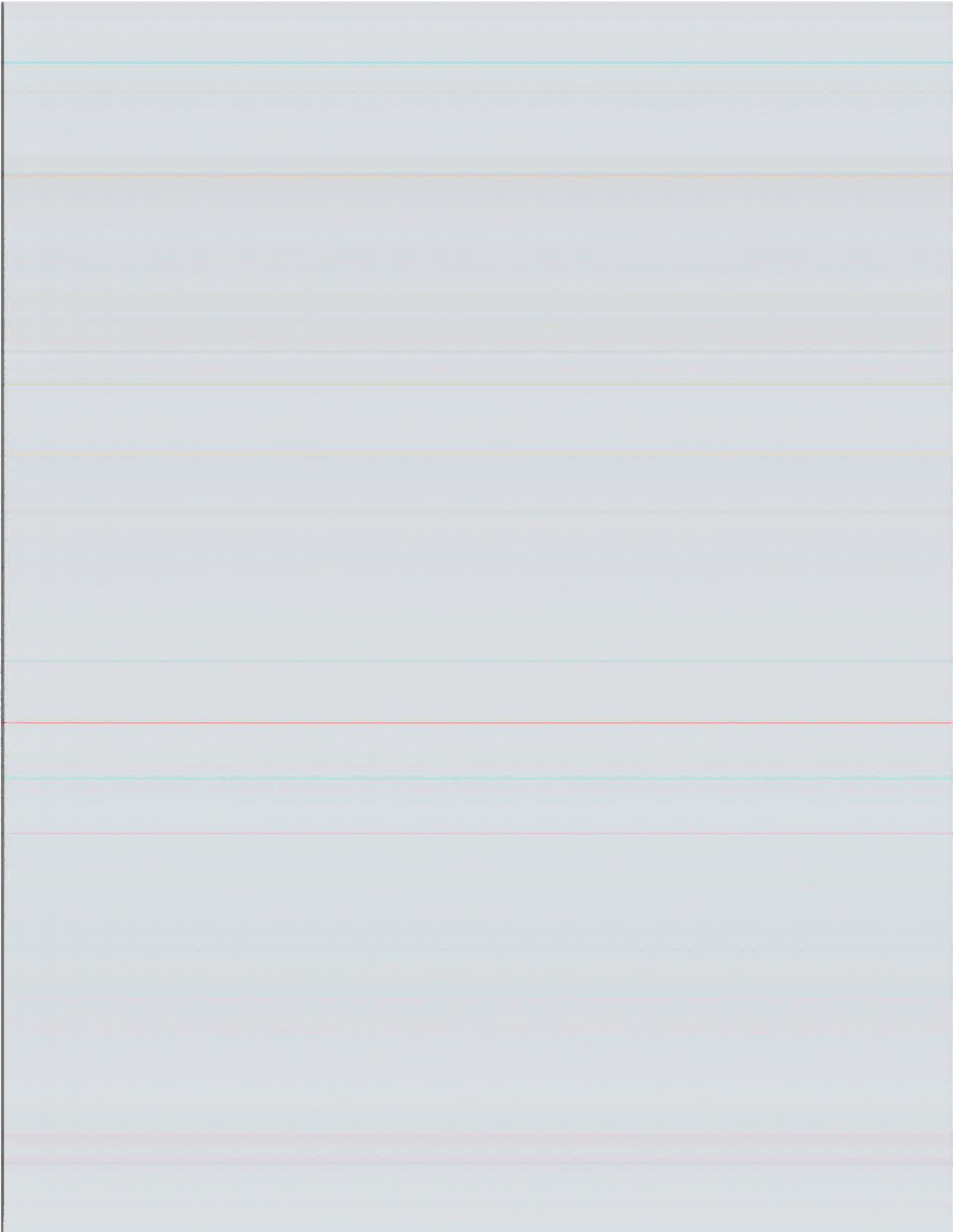
<p>Item No. 2 Qty: 1</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 1 HI GRIDS IN FIXED WHITE, FPA #17791.1 DOES NOT MEET EGRESS, ID: 3</p>	<p>Dimensions</p> <p>TIP: 32 3/8 x 34 7/8 ACTUAL: 31 1/8 x 33 5/8 SCREEN: 18 X 16</p> 	
---	--	--

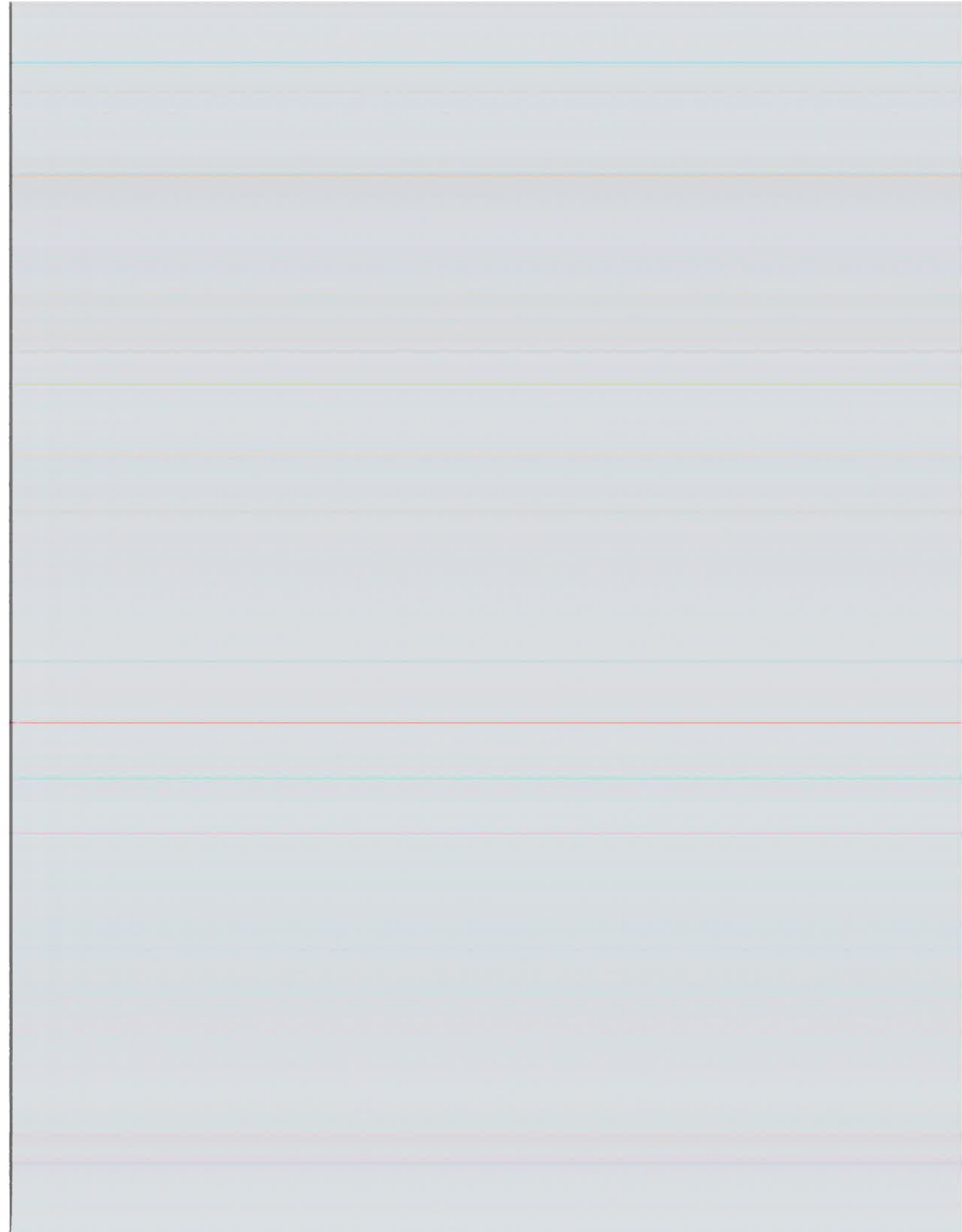
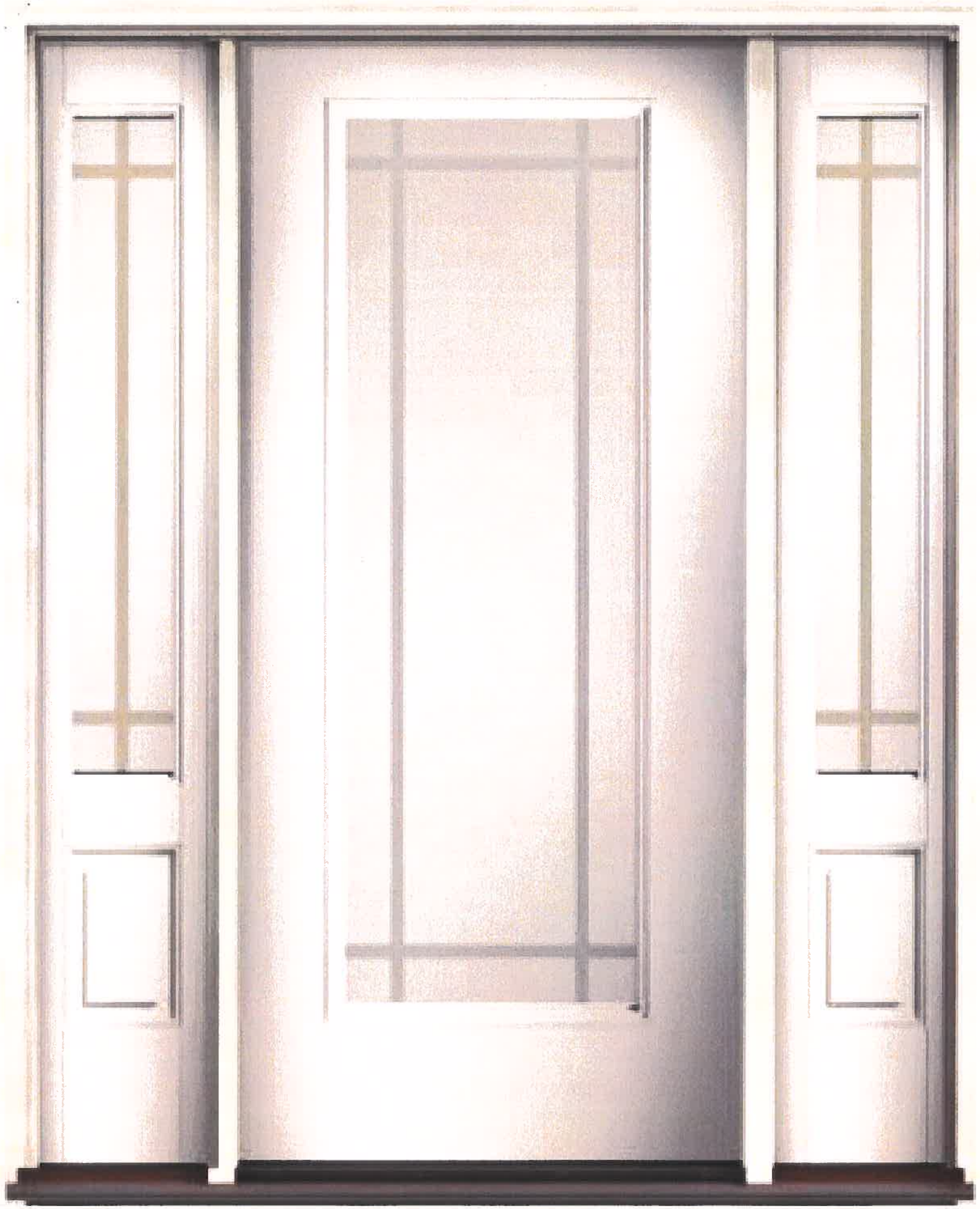
6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

<p>Item No. 3 Qty: 1</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 1 HI GRIDS IN FIXED WHITE, FPA #17791.1 DOES NOT MEET EGRESS, ID: 4</p>	<p>Dimensions</p> <p>TIP: 32 1/4 x 34 7/8 ACTUAL: 31 x 33 5/8 SCREEN: 18 X 16</p> 	
---	--	---

6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5







Pool	Style _____	Area _____
Envelope _____	RTNS _____	
Depth _____	Light _____	
Drain _____	Volume _____	
Dig Type _____		
Spillover Length(s) _____		
Coping Material _____		
Interior Finish _____		
Notes _____		

Spa	Perimeter _____
Style _____	Area _____
Light _____	RTNS _____
Drain _____	
Spillover Length(s) _____	
Coping Material _____	
Interior Finish _____	
Notes _____	

Tile	Raised Beams _____
Pool Tile Material _____	
Spa Tile Material _____	
Notes _____	

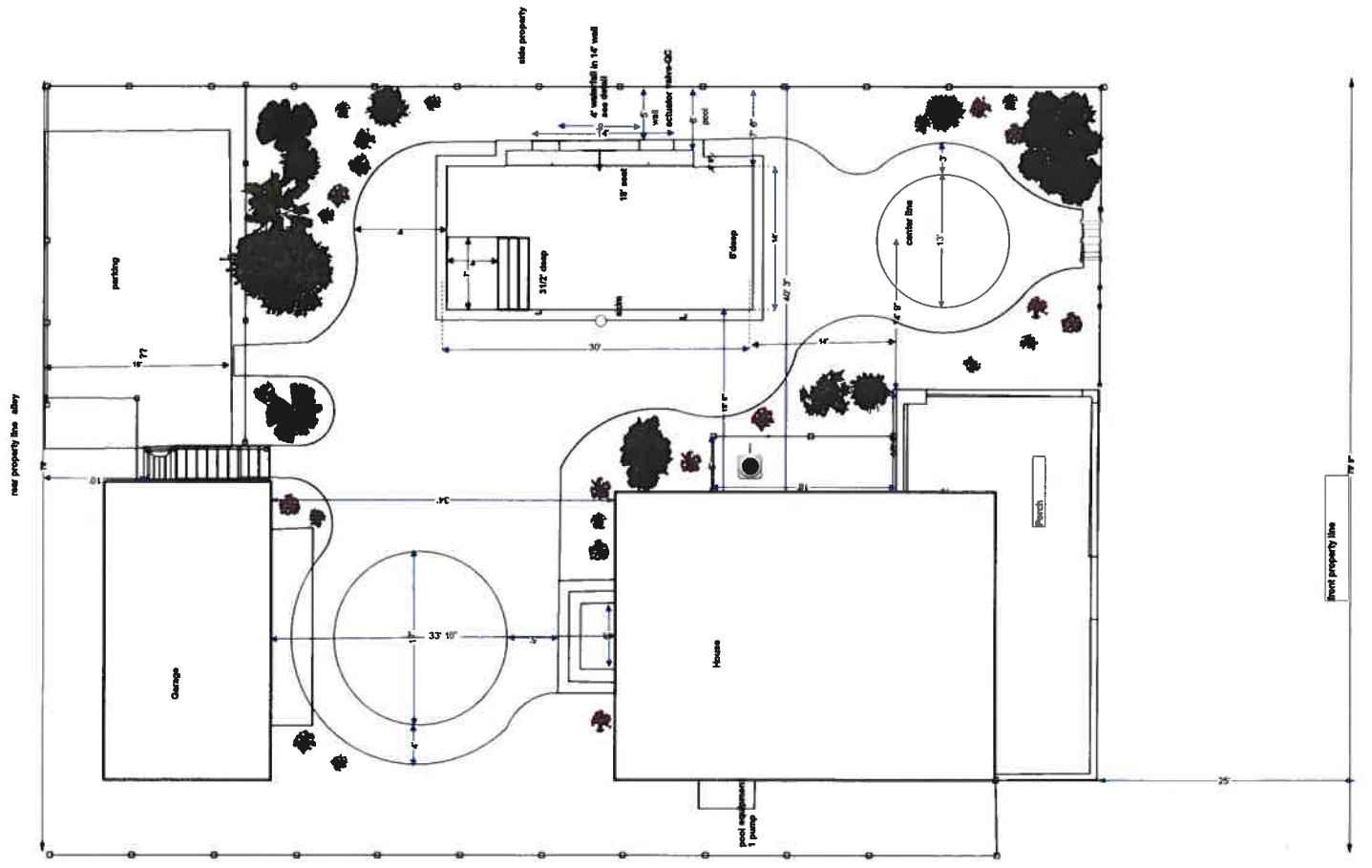
Deck	Perimeter _____
Style _____	Area _____
Coping Material _____	
Surface Material _____	
Turn Down _____	Riser _____
Notes _____	

Equipment	Control Panel _____
Circ Pump _____	Remote _____
Pump #2 _____	Blower _____
Filter _____	Fill Line _____
Header _____	Other _____
Pool Light _____	Other _____
Spa Light _____	Other _____
Other _____	Other _____
Notes _____	

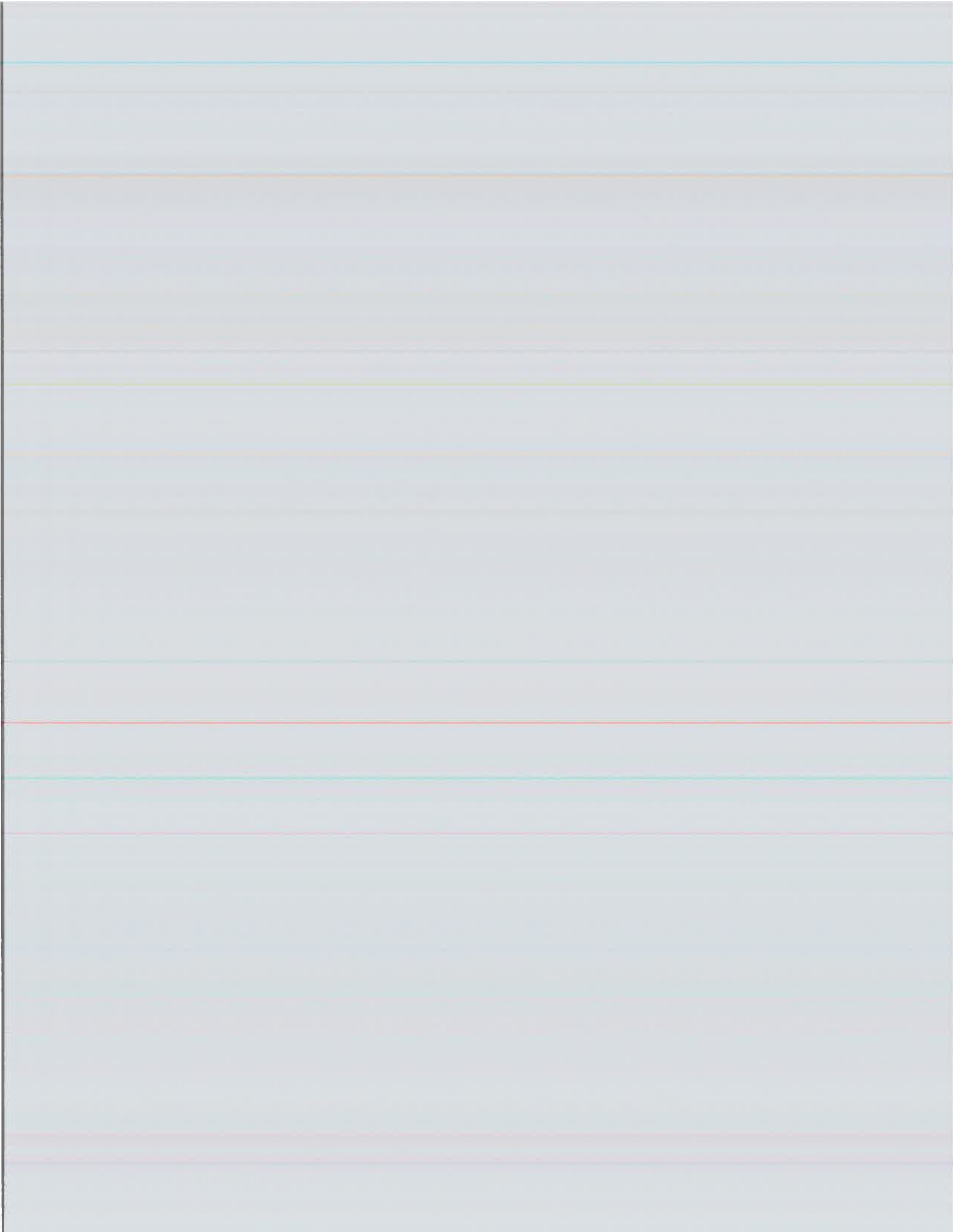
Approv	I/we (the undersigned) have reviewed this plan and approve it as correct within reasonable tolerance. I/we understand that any changes made to a single or to _____
---------------	---

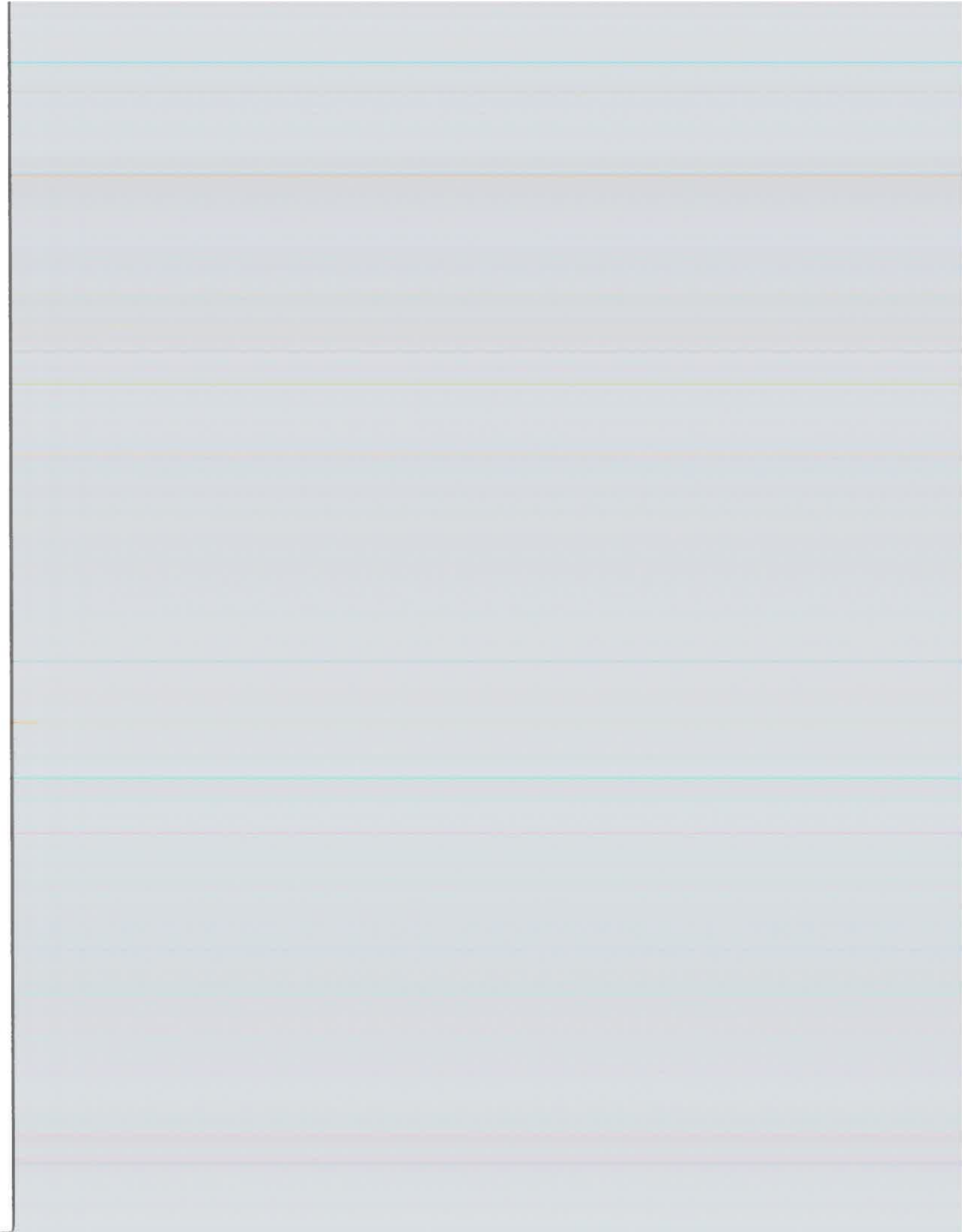
Pool Depth	Project Name: <u>Mia and Mary Ellen Hussey</u>
	Client Name: _____
	Client Email: _____
	Client Phone: _____
	Address: <u>217.10 ave NE</u>
	City: <u>St. Petersburg</u>
	State/Province: _____
	Zip/Postal Code: _____
	Designer Name: _____

Pool



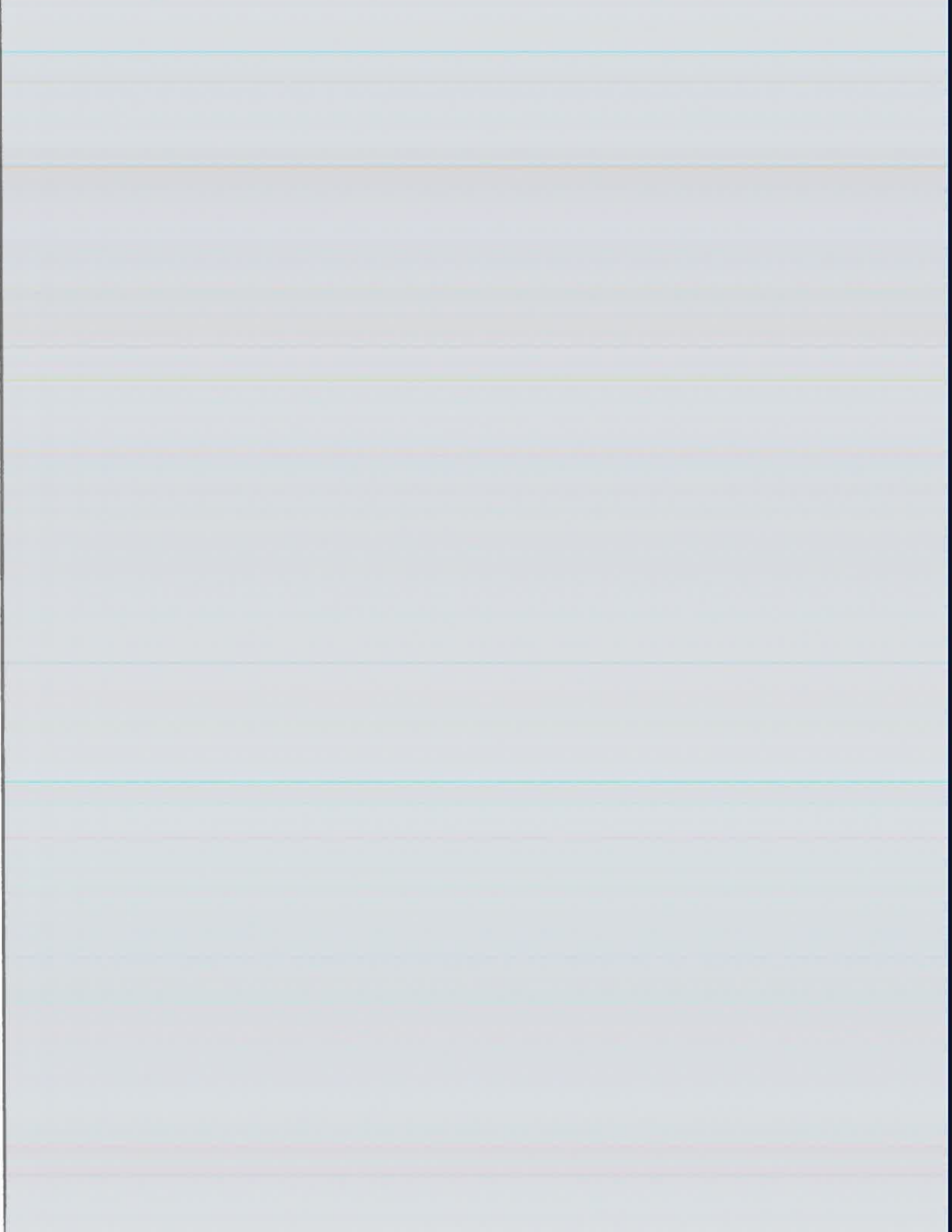
Scale: 3/8" = 1'-0"







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Appendix B:

Application No. 21-90400004

B. Property Use (To be completed by all applicants)

- 1. Use(s) before improvement: single family residence with detached garage and apartment
- 2. Proposed uses(s): Primary residence

C. Special Exemption (complete only if applying for exemption under s. 196.1998, F.S., property occupied by non-profit organization or government agency and regularly open to the public)

- 1. Identify governmental agency or non-profit organization occupying the building or archaeological site.

- 2. How often does this organization or agency use the building or archaeological site? _____
- 3. For buildings, indicate the total usable area of the building in square feet. (for archaeological sites, indicate the total area of the upland component in acres) _____ square feet acres
- 4. How much area does the organization or agency use? _____ %
- 5. What percentage of the usable area does the organization or agency use? _____ %
- 6. Is the property open to the public? Yes No If so, when?

- 7. Are there regular hours? Yes No. If so, what are they?

- 8. Is the property open by appointment? Yes No
- 9. Is the property open ONLY by appointment? Yes No

D. Description of Improvements (to be completed by all applicants):

Describe in the blocks below, site work, new construction, alterations, etc. Attach photographs and maps.

<p>Feature 1: <u>Wraparound enclosed porch</u> Approximate date of feature: <u>unknown</u> Description and condition of feature: <u>Front porch conversion (installation of windows and doors)</u> <u>Porch ceiling evidences water intrusion</u></p>	<p>Describe work and impact on existing feature: <u>Original open concept porch design was eliminated by installation of windows and front entry door. Water intrusion from roof flashing/windows has damaged porch ceiling</u> <u>Will repair porch ceiling, remove all exterior windows and door from porch conversion.</u> <u>Returning porch to its original design as an open porch.</u></p>
<p>Photo no. <u>1-1 thru 1-6</u></p>	<p>Drawing no.</p>



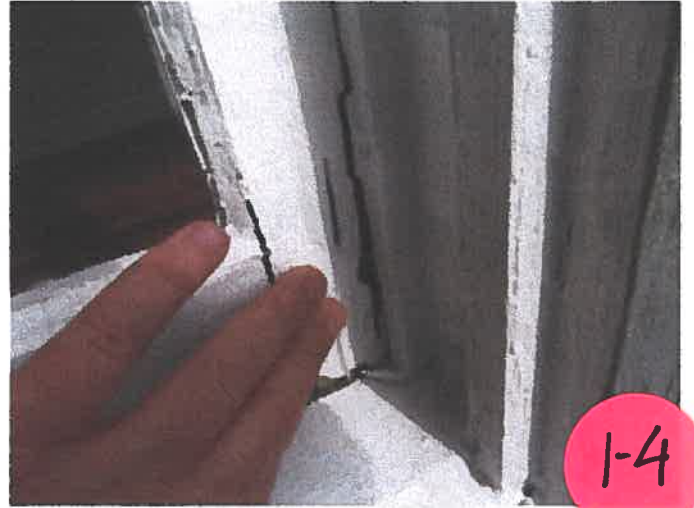
1-1



1-2



1-3



1-4



1-5



1-6

Feature 2: Electrical
 Approximate date of feature: 1920
 Description and condition of feature:
 • Live knob and tube wiring found throughout primary home and garage/apartment
 • Cloth insulated wire in electrical panel
 • Outdated meter box in garage (fused electrical panel in garage)
 • Non grounded ^{outlets} throughout primary home and garage/apartment

Photo no. **2-1 thru 2-6** Drawing no.

Describe work and impact on existing feature:
 Extensive electrical issue at subject property
 • Will rewire primary home and garage/apartment to meet code
 • All meter boxes and outlets replaced to meet code

Feature 3: HVAC
 Approximate date of feature: Various years
 Description and condition of feature:
 • HVAC located in attic is 24 years old and not cooling to a proper level. Water damage evident on 2nd floor ceiling beneath unit
 • HVAC system servicing porch-conversion is 25 years old and not working properly
 • HVAC system behind primary home is 6 years old and appears to have not been properly maintained (fan recently broke)
 • Garage apartment serviced by an old window unit.

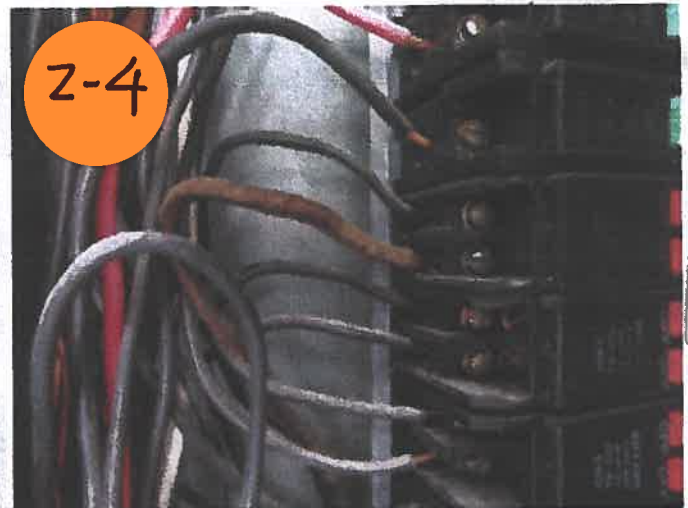
Photo no. **3-1 thru 3-8** Drawing no.

Describe work and impact on existing feature:
 Extensive HVAC issues at subject property
 • Will remove all HVAC equipment in primary home and apartment
 • Single unit to be placed outside primary home to address all HVAC needs. All new duct work installed as well
 • A Split HVAC system will be installed in the garage and apartment

Feature 4: Plumbing
 Approximate date of feature: 1920
 Description and condition of feature:
 • Older galvanized water pipes and cast iron drain pipes evaluated to confirm integrity
 • Water damage on subfloor beneath half bath
 • Water heater in laundry room is 2 years old and water heater in garage is 29 years old. Garage water heater has improper flue installation.

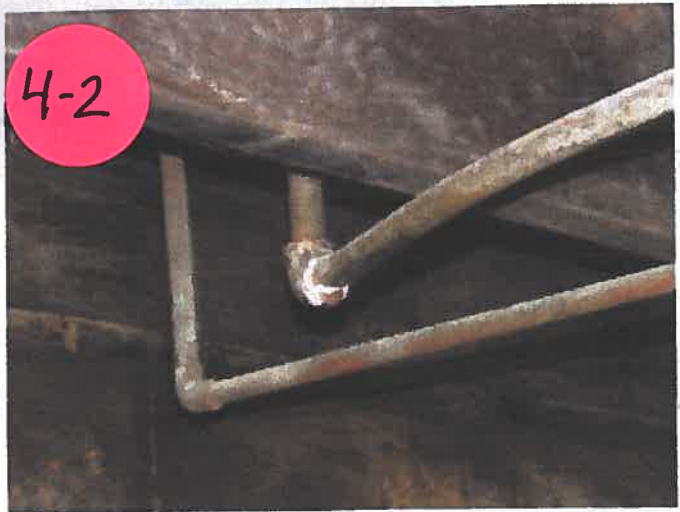
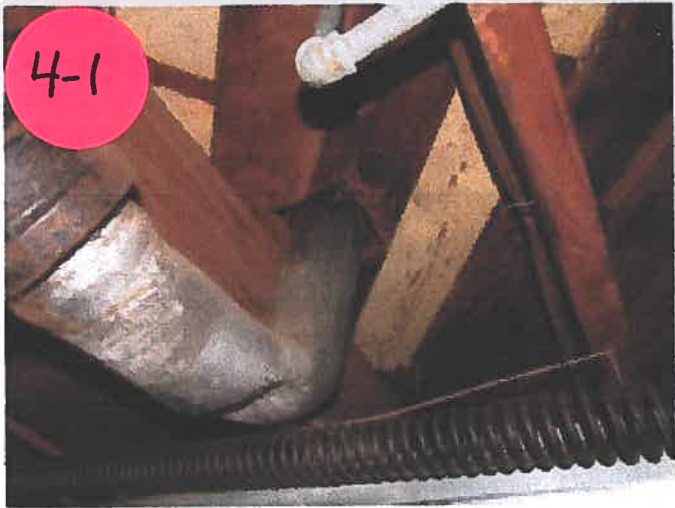
Photo no. **4-1 thru 4-6** Drawing no.

Describe work and impact on existing feature:
 • Will thoroughly review of the plumbing and, where needed, repairs will be made
 • Remodeling kitchen and laundry areas will address the majority of plumbing and flooring issues.
 • Replacing all water heaters on property









Feature 5: Windows and Doors

Approximate date of feature: 1920

Description and condition of feature:

- Significant visible water damaged and many non-operational older windows
- Windows provide no UV protection
- Windows do not have a hurricane impact designation
- Windows have significant rot and termite damage

Describe work and impact on existing feature:

- Will be replacing all windows and doors with new UV protective and hurricane impact certified ones.

Photo no 5-1 thru 5-12 Drawing no.

Feature 6: Bathrooms and Kitchen

Approximate date of feature: 1920

Description and condition of feature:

- Home does NOT have a functioning kitchen
- All bathrooms are outdated and display significant wear and are in need of updating

Describe work and impact on existing feature:

- New kitchen will be designed and installed to codes
- All bathrooms in primary home and apartment will be updated.

Photo no. 6-1 thru 6-14 Drawing no.

Feature 7:

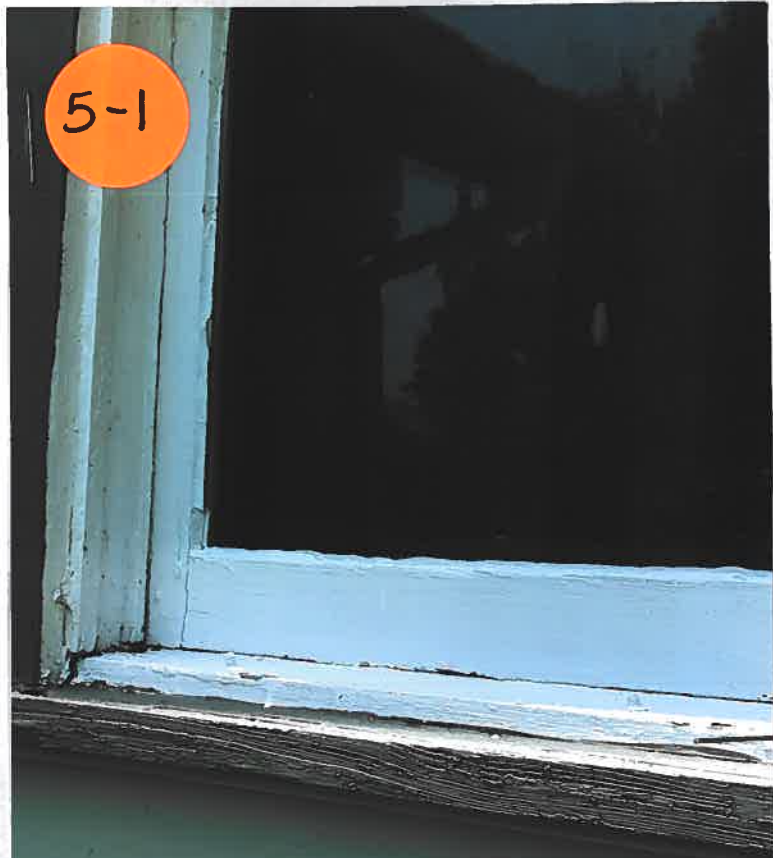
Approximate date of feature:

Description and condition of feature:

Describe work and impact on existing feature:

Photo no.

Drawing no.



5-1



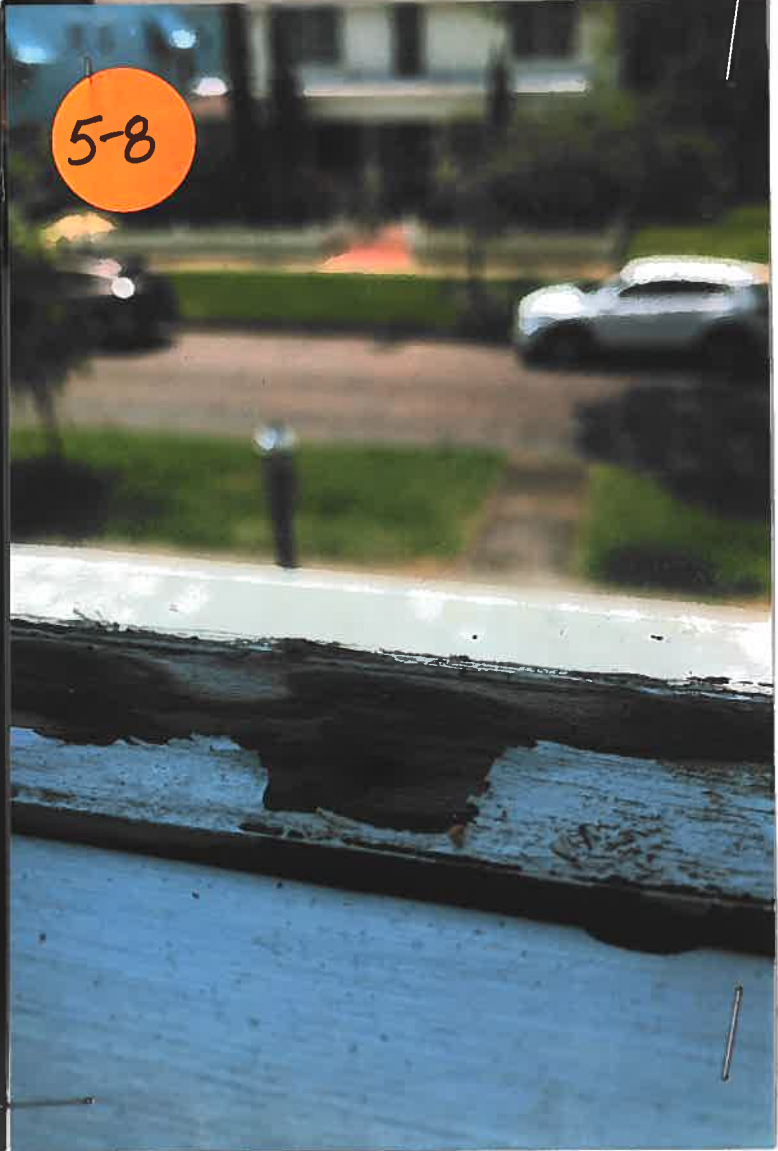
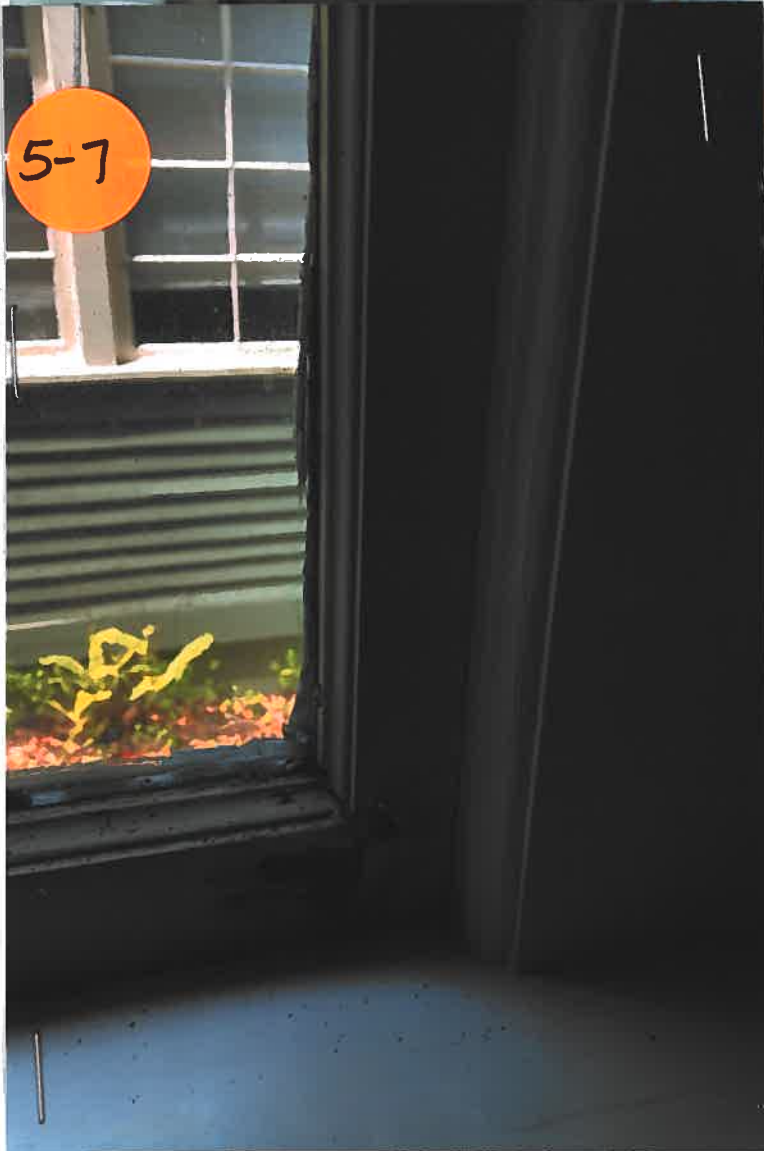
5-2



5-3



5-4



5-9



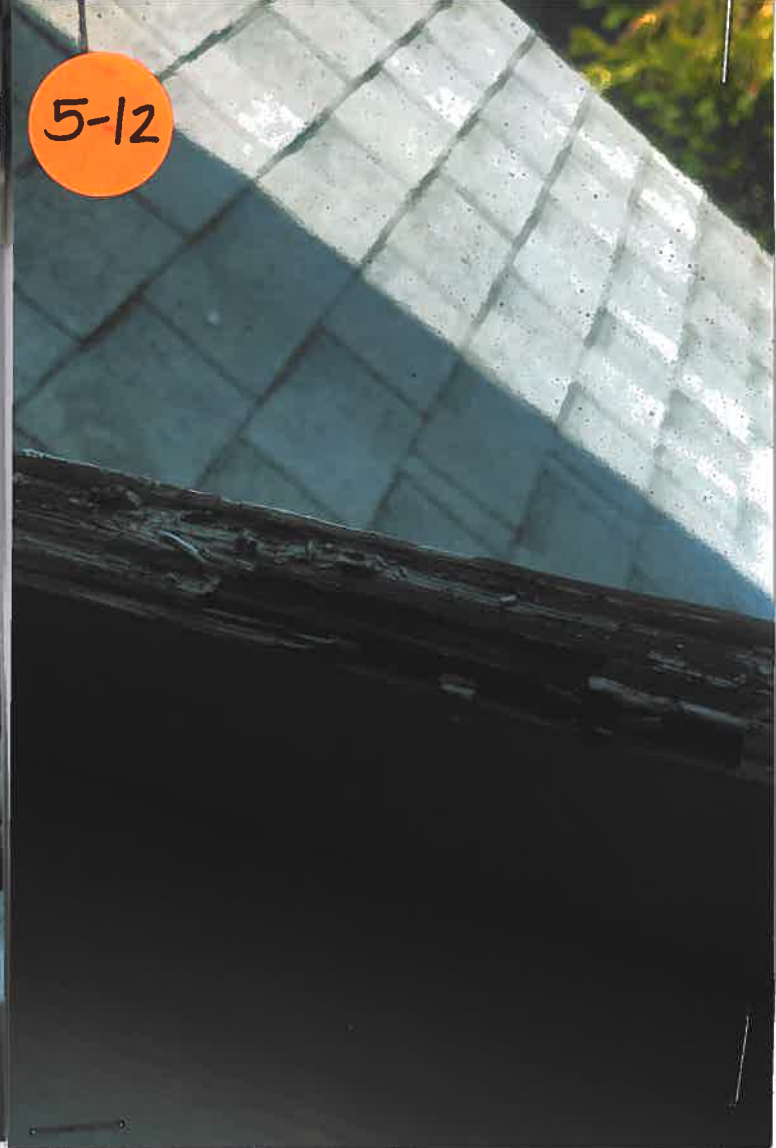
5-10



5-11



5-12



6-1



6-2

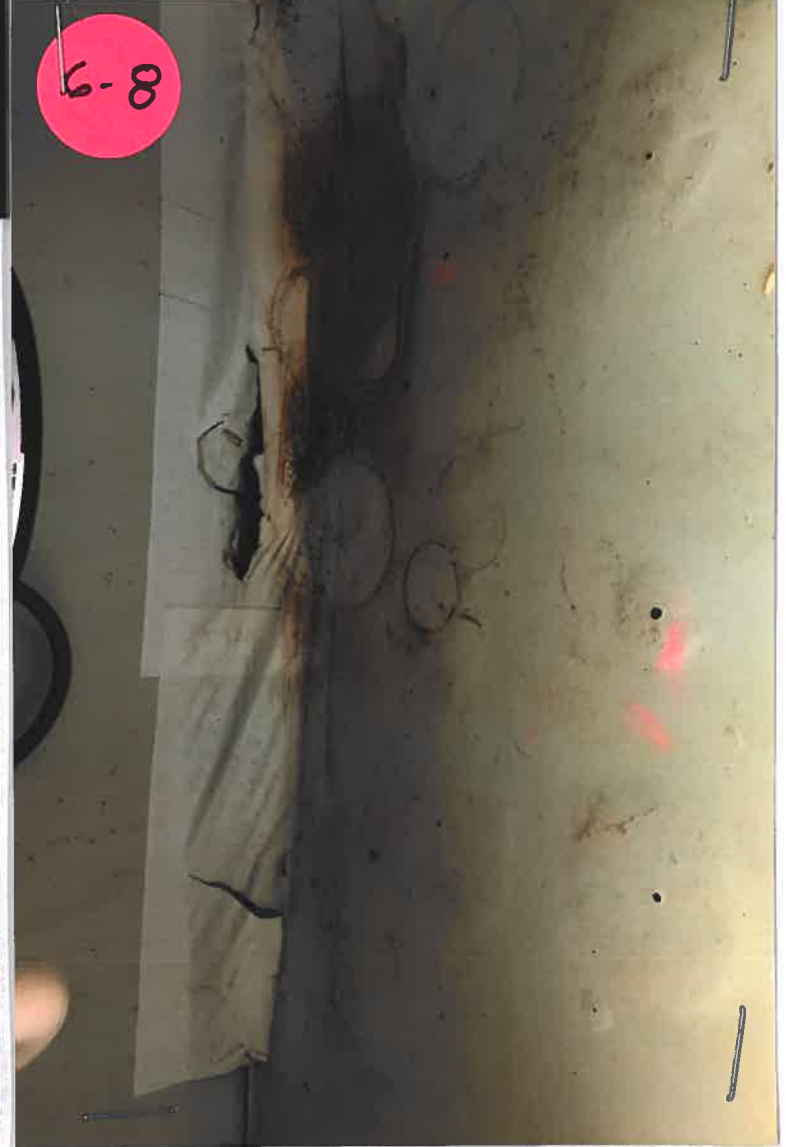


6-3



6-4



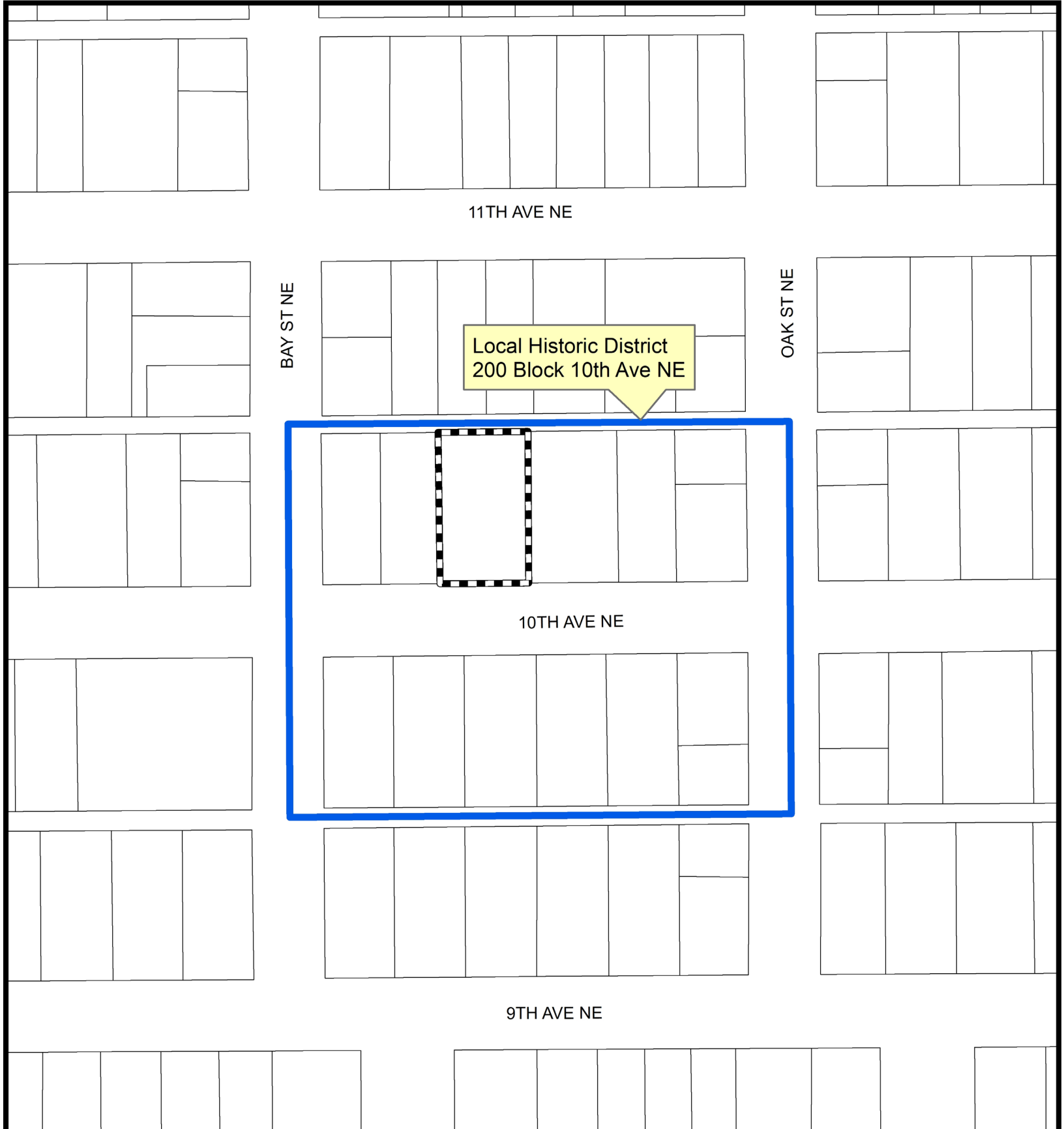






Appendix C:

Maps of Subject Property



11TH AVE NE

BAY ST NE

OAK ST NE

Local Historic District
200 Block 10th Ave NE

10TH AVE NE

9TH AVE NE

Community Planning and Preservation Commission

217 10th Ave NE

AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

21-90200045

21-90400004



SCALE:
1" = 120'